

11 EL CAMINO REAL

SAN CARLOS, CA



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PROJECT TEAM

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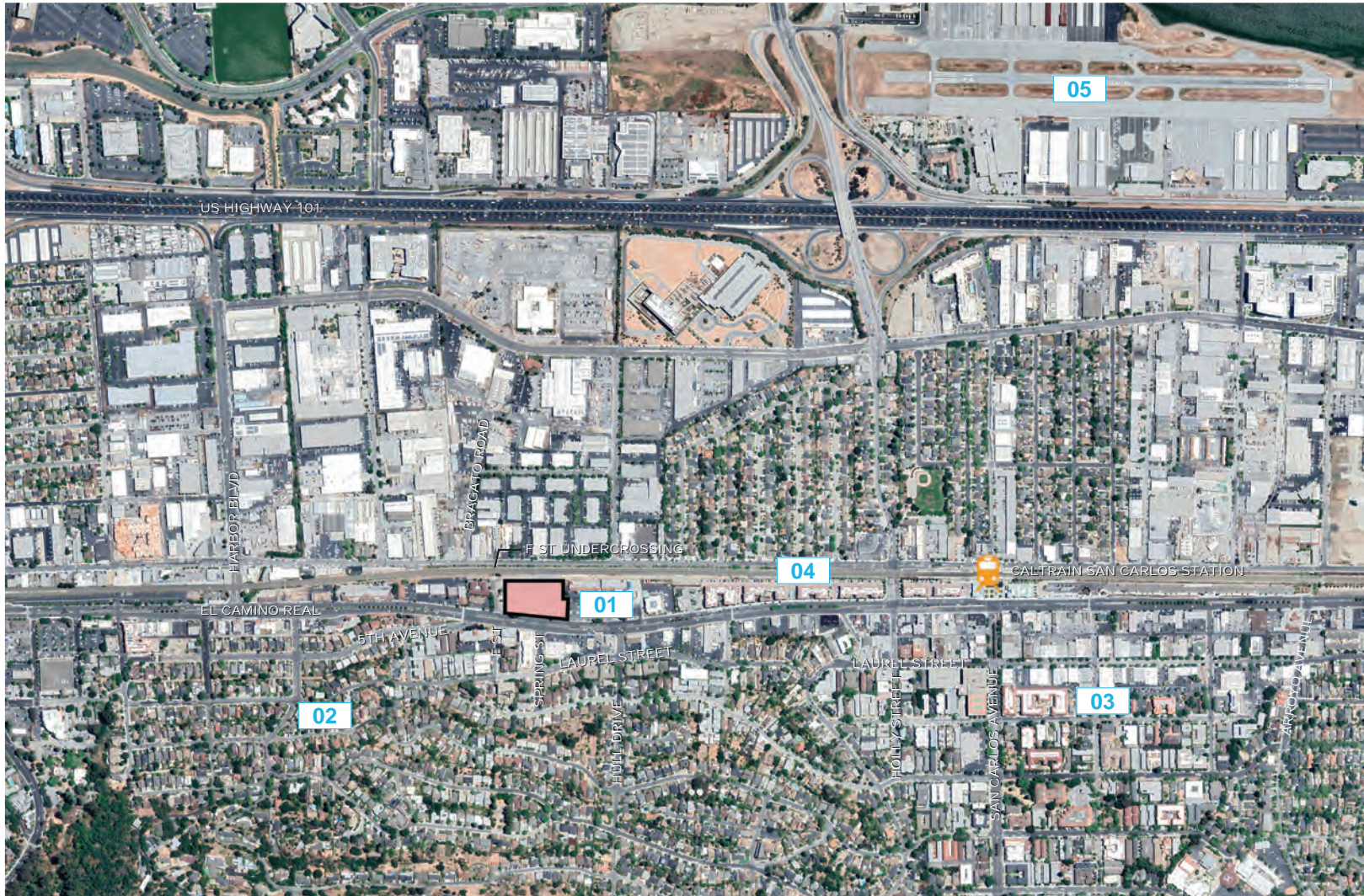
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 SAN CARLOS # 2021-0216

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 August 08, 2023



TITLE SHEET & INDEX

A0.0

VICINITY MAP N.T.S.



LEGEND:

-  Project Site
-  Caltrain Station
- 01 San Carlos Plaza
- 02 Belmont
- 03 Downtown San Carlos
- 04 Caltrain Line
- 05 San Carlos Airport



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NEIGHBORHOOD CONTEXT

A0.1



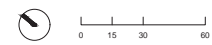
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EXISTING SITE

A0.2



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EXISTING SITE CONTEXT EXHIBIT

A0.3



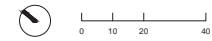
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SITE PLAN
 Level 1

A1.0



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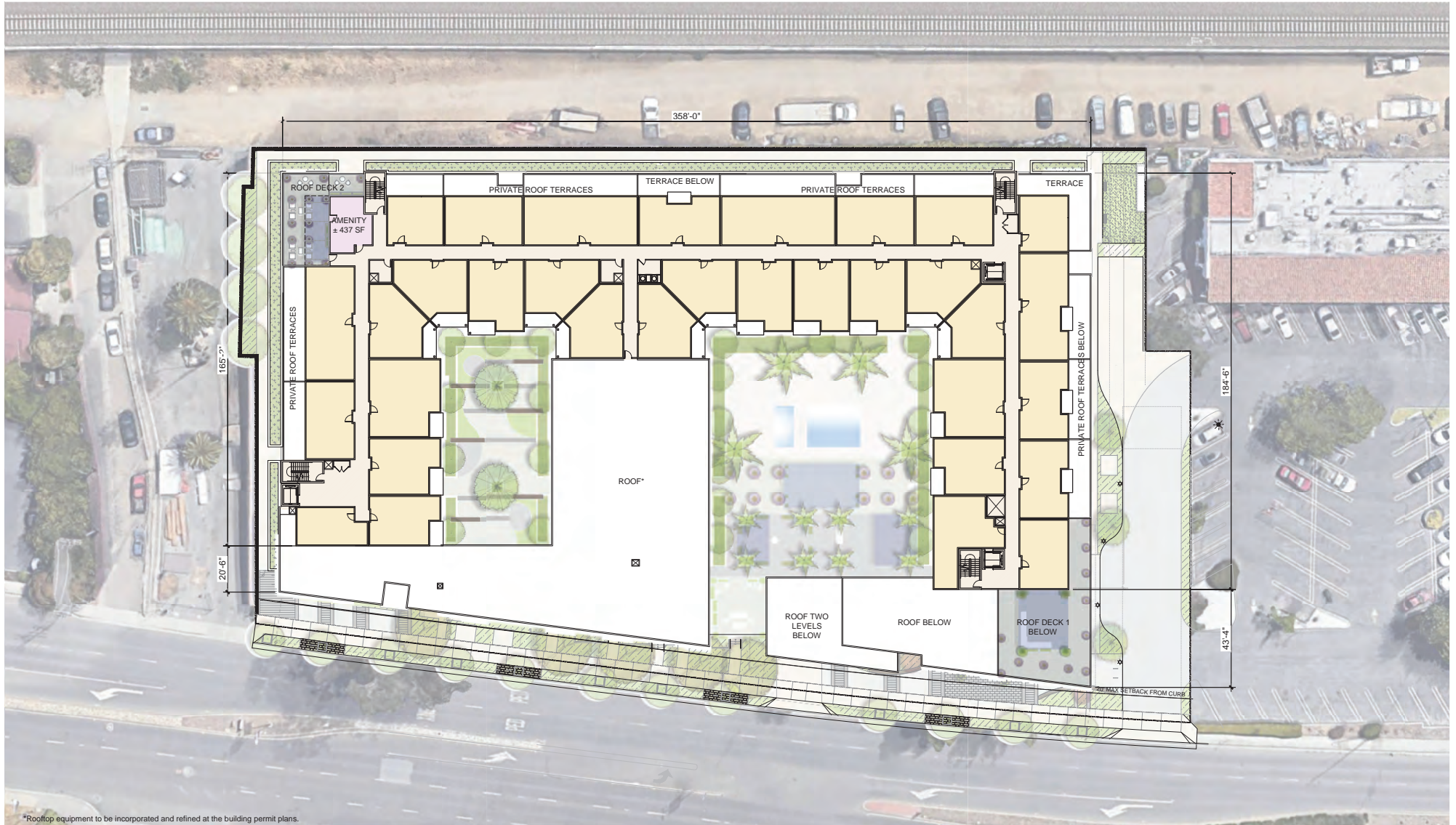
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SITE PLAN
 Level 2: PODIUM

A1.1



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SITE PLAN
 Level 6

A1.2

CIRCULATION PLAN LEGEND

VEHICULAR

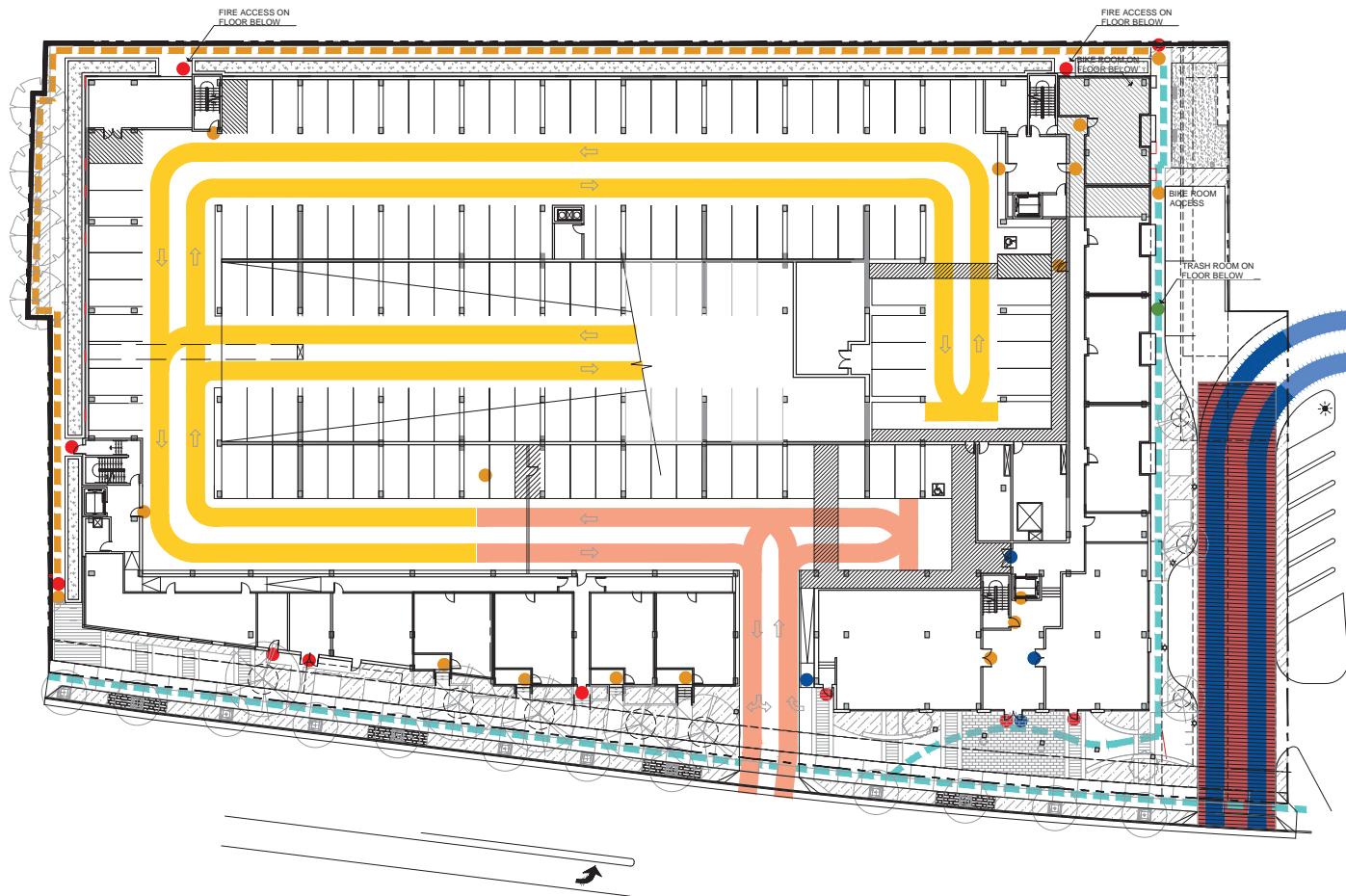
- PRIVATE DRIVEWAY - RESIDENTS & GUESTS
- PRIVATE DRIVEWAY - RESIDENTS ONLY
- FIRE, TRASH, AND MOVE-IN ACCESS EASEMENT THROUGH NEIGHBORING SHOPPING CENTER
- EMERGENCY VEHICULAR AND SHOPPING CENTER ACCESS EASEMENT

NON-VEHICULAR

- PEDESTRIAN CIRCULATION - PUBLIC
- PEDESTRIAN CIRCULATION - PRIVATE

APARTMENT BUILDING ACCESS

- VISITOR / PUBLIC ACCESS
- CONTROLLED ACCESS - RESIDENTS
- CONTROLLED ACCESS - MAINTENANCE & TRASH
- CONTROLLED ACCESS - FIRE DEPARTMENT



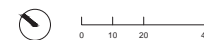
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CIRCULATION PLAN

A1.3



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CONCEPTUAL PERSPECTIVE

A2.0



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CONCEPTUAL PERSPECTIVE

A2.1



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CONCEPTUAL PERSPECTIVE

A2.2



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CONCEPTUAL PERSPECTIVE

A2.3



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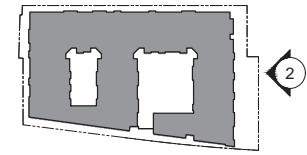
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CONCEPTUAL PERSPECTIVE

A2.4



2. South Elevation



KEYMAP : N.T.S

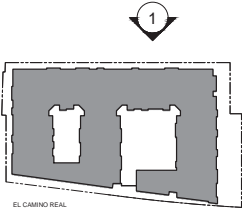
- Material Legend:**
1. Lap Siding
 2. Stucco
 3. Brick
 4. Storefront
 5. Vinyl Window
 6. Metal Panel Railing
 7. Metal Vertical Railing
 8. Metal Awning
 9. Concrete
 10. Glass Railing
 11. Metal Screen



1. West Elevation



2. North Elevation

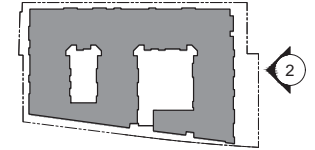


KEYMAP : N.T.S

- Material Legend:**
1. Lap Siding
 2. Stucco
 3. Brick
 4. Storefront
 5. Vinyl Window
 6. Metal Panel Railing
 7. Metal Vertical Railing
 8. Metal Awning
 9. Concrete
 10. Glass Railing
 11. Metal Screen



1. East Elevation



KEYMAP : N.T.S



2. South Elevation



1. West Elevation

- ① Pursuant to 18.05.030-F.3 wide buildings: the building breaks at regular intervals no greater than 50'
- ② Pursuant to Table 18.05.030 G.1 there is no length of blank wall greater than 25'



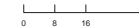
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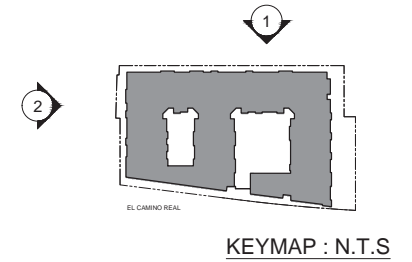


FACADE LENGTH EXHIBIT

A2.7



2. North Elevation



1. East Elevation

- ① Pursuant to 18.05.030-F.3 wide buildings: the building breaks at regular intervals no greater than 50'
- ② Pursuant to Table 18.05.030 G.1 there is no length of blank wall greater than 25'



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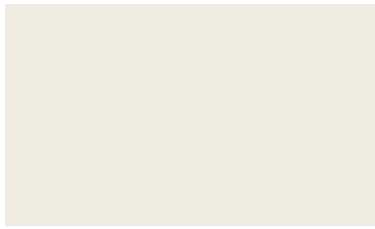
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FACADE LENGTH EXHIBIT

A2.8



Stucco 1
SW 7008 - Alabaster



Stucco 2
SW 7044 - Amazing Gray



Stucco 3
SW 7040 - Smokehouse



Stucco 4
SW 7041 - Vandyke Brown



Concrete
SW 9569 - Alloy



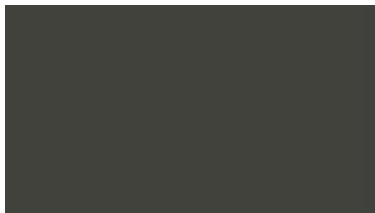
Horizontal Lap Siding
SW 7040 - Smokehouse



Brick Veneer 1



Brick Veneer 2 (Rowlock Course)



Metal Awning
SW 7069 - Iron Ore



Black Vinyl Window



Metal Panel Railing
SW 9100 - Umber Rust



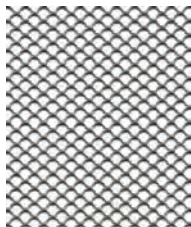
Metal Vertical Railing
SW 7069 - Iron Ore



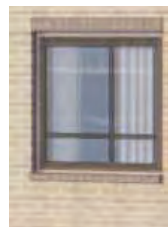
Storefront



Glass Railing



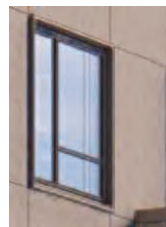
Metal Screening



Vinyl Window in
Brick



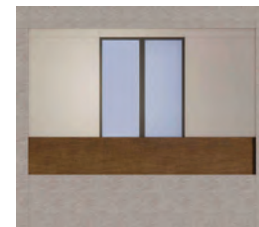
Vinyl Window in Lap
Siding



Vinyl Window in
Stucco



Balcony - Metal Rail



Balcony - Metal Panel



Balcony - Glass



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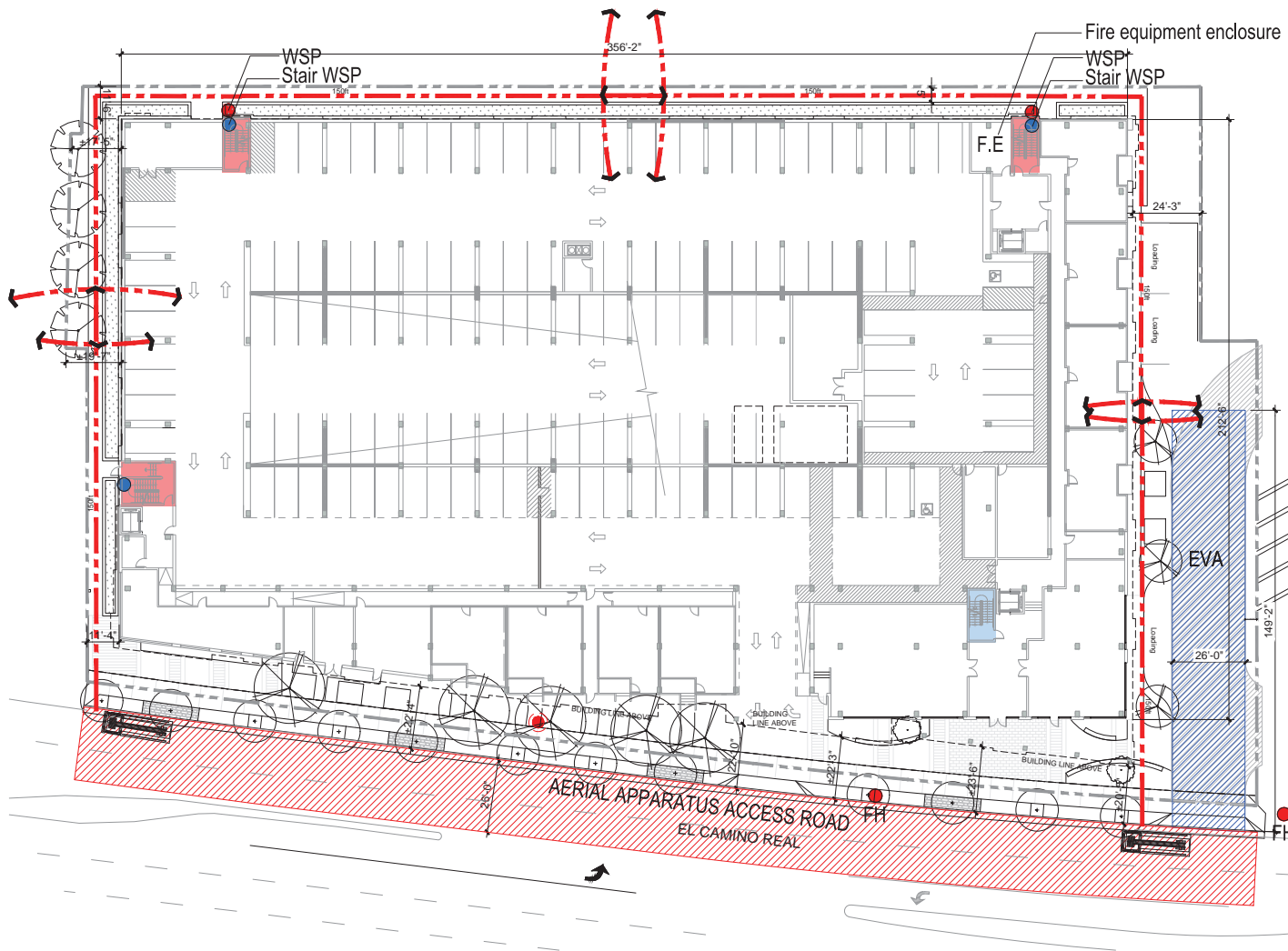
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CONCEPTUAL COLORS & MATERIALS

A2.9



Project Summary

Proposed Use	Multifamily Residential over Parking
Construction Type	Type IIIA (5 stories) over Type IA Podium
Building Height	6 Stories + 1 Story of Basement
Fire Sprinklers	85' max allowable height NFPA 13

Legend

- 26' aerial apparatus access road (Ground level access and minimum of 15' and a max. of 30' to roof along ECR)
- 150' minimum hose pull radius and travel distance as noted
- WSP Wet standpipe at building lowest level
- Stair WSP Wet standpipes at intermediate stair landings
- 2-hr fire resistive stair w/ roof access
- 2-hr fire resistive stair w/ podium access
- Existing Fire Hydrant
- Proposed Fire Hydrant
- EVA (Emergency Vehicle Access). Max. 150ft, no turnaround

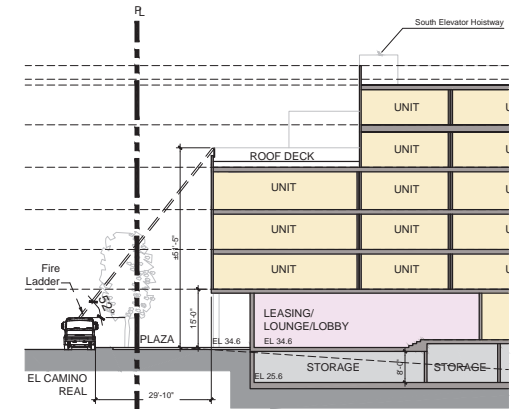
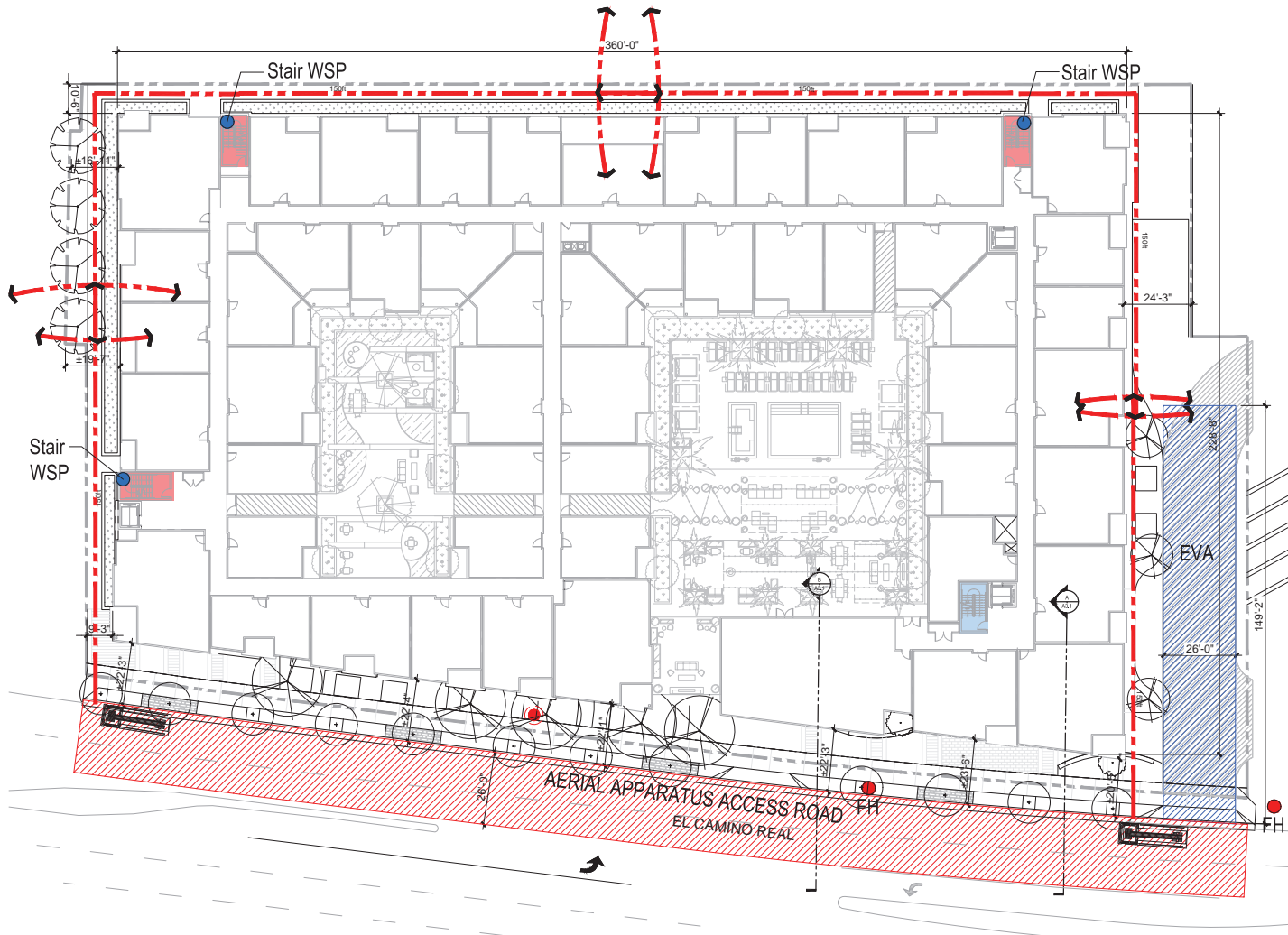
Notes (See AMMR for additional detail)

1. Aerial apparatus access provided on El Camino Real.
2. Emergency Responder Radio Coverage System to be installed per California Fire Code (CFC) section 510, NFPA 1221, NFPA 72, and the CEC
3. Knox Key boxes will be provided at the entrances to the building at locations approved by the fire department. Recessed key boxes shall be installed at the entrances to the building five to six feet above finished grade.
4. Electric gates shall have Knox Key Switches installed as per CFC 506.
5. Fire pump standby power: Diesel fire pump with built in standby power provided.
6. Gurney Accommodating Elevator. At least one elevator car in each building to accommodate an ambulance gurney 24 inches by 84 inches with not less than 6-inch radius corners, in the horizontal, open position and shall be identified by the international symbol for emergency medical service. The symbol shall not be less than 3 inches high and shall be placed inside on both sides of the hoist-way door frame per CBC 3002.4.
7. Portable Fire Extinguishers. Portable fire extinguishers, with a minimum classification of 2A:10BC to be permanently installed in all buildings within 75 feet of travel from all portions of the building in compliance with NFPA 10 and CFC 906.
8. Automatic-wet standpipes to be provided on the intermediate landing of all stairwells.
9. Type IIIA is proposed for residential portion, no egress windows required.
10. Wet standpipes and 5ft walkway provided as mitigation for 150ft hose pull distance.
11. Fire equipment enclosure to be provided and to be minimum 6ft x 8ft per [CFC §907.2.12.3.1 as amended by the City of Redwood City Code of Ordinances §12.23]
12. Construction Egress and Standpipes per CFC 33.11.1 and 3313.1 to be provided by Contractor.
13. Electric vehicle charging system equipment shall be listed and labeled in accordance with UL 2202. Electric vehicle supply equipment shall be listed and labeled in accordance with UL 2594. [CBC §406.2.7]
14. Construction Permits: Individual building and fire code permit reviews to be accordance with the legally adopted codes and standards in place at the time of permit application.
15. Emergency Hoistway Venting to be shown at building permit per [CFC 604.6.4]
16. Site Safety Plan to be provided at time of construction per CFC §3303.
17. Rooftop Garden Maintenance Plan to be submitted with building permit applications per [CFC §317.4.3]
18. Fire Resistive Construction Maintenance and Repair Inventory to be maintained by Owner per. [CFC §701.2 and §701.6]

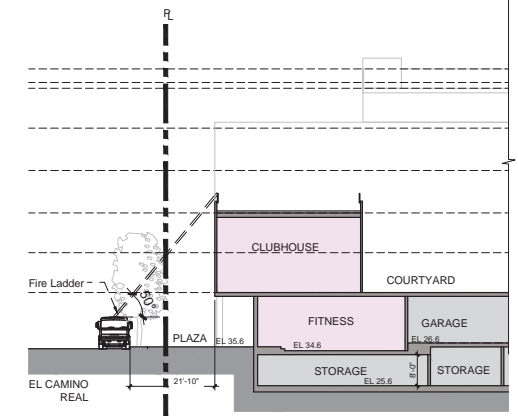
Deferred submittals (as applies)

- *Fire sprinkler system. [CFC §903.2.8]
- *Underground fire-line work. [CFC §507.2.1]
- *Class I or II standpipe system. [CFC §905.3.1]
- *Manual and/or automatic fire alarm system. [CFC 907.2.9]
- *Solar photovoltaic arrays. [CFC 1204.1]
- *Emergency responder radio coverage [CFC §510.1 and §1103.2]
- *Standby and emergency power generator [CFC §1203.1]
- *Fuel tank(s), sizes and piping plans for emergency and standby power. [CFC 1203.1]
- Elevator lobby, stair enclosure and/or area of refuge two-way communications system. [CFC 1009.8]
- *Emergency responder radio coverage system. [CFC §510.1 and §1103.2]
- *Fire fighters' communication system. [CFC §907.2.12.3.1 as amended by the City of San Carlos]
- *Fire pump assembly, including controller and automatic transfer switch. [CFC §13.1]
- Public address system [CFC §907.2.12.3.1 as amended by the City of San Carlos]

Notes: Items identified with an asterisk (*) require a separate fire code permit.

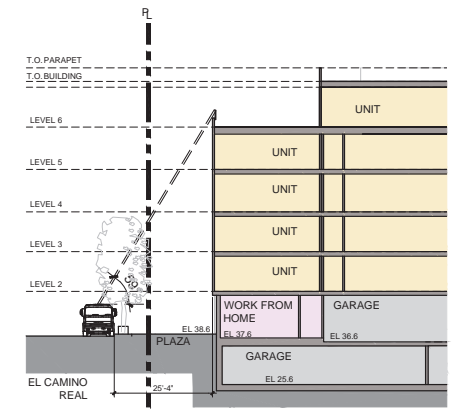
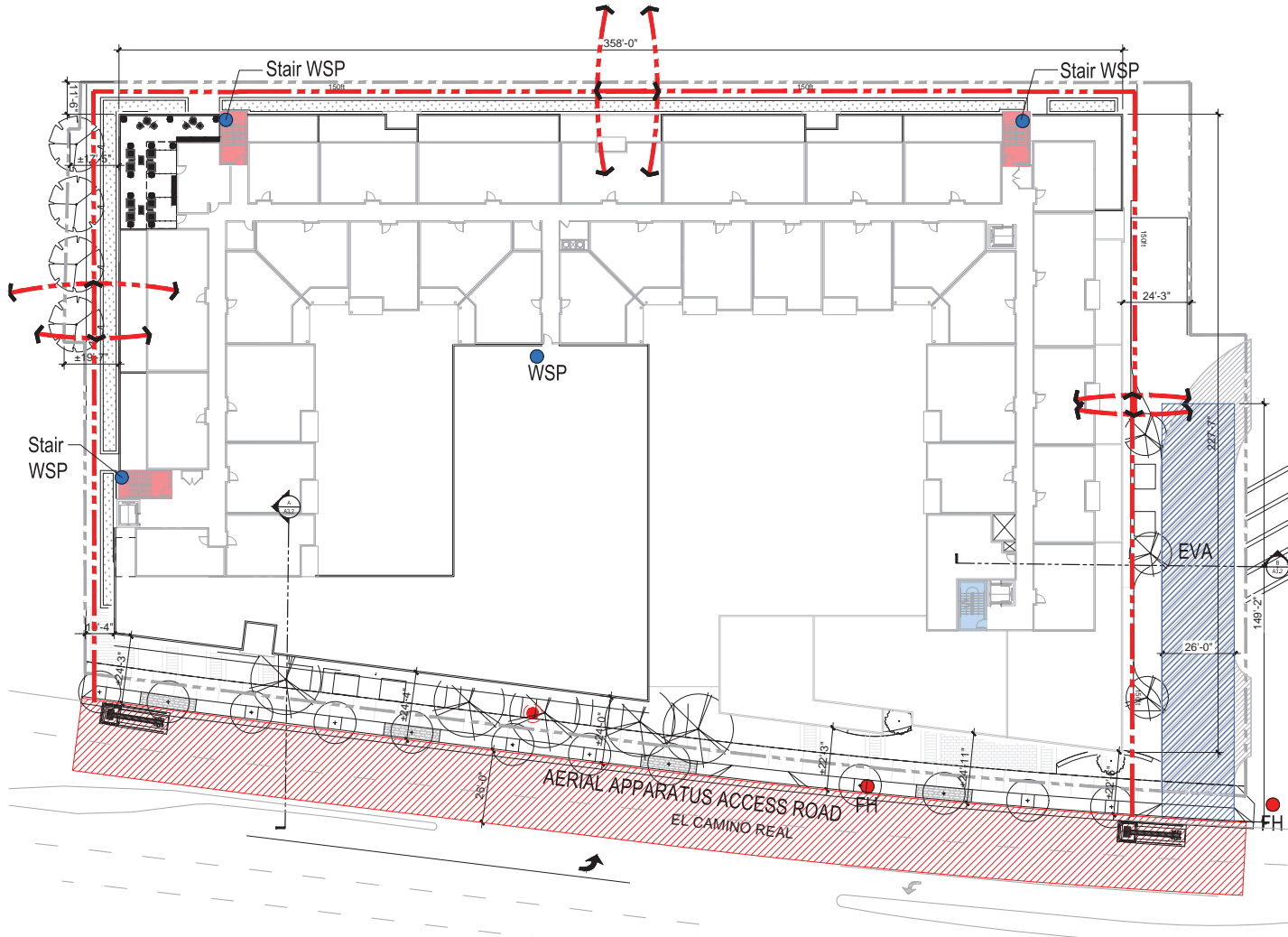


Section A: Aerial Access on El Camino Real

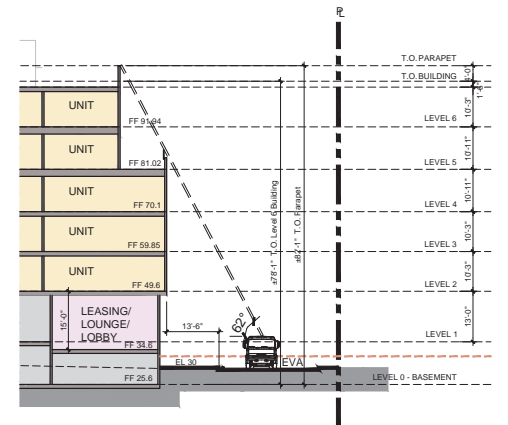


Section B: Aerial Access on El Camino Real

Notes:
 See Landscape Drawings for tree species, height, and canopy width.
 See Plans and Elevations for more information regarding spaces and heights.
 75 Degree max. ladder angel as discussed in call with fire.



Section A: Aerial Access on El Camino Real














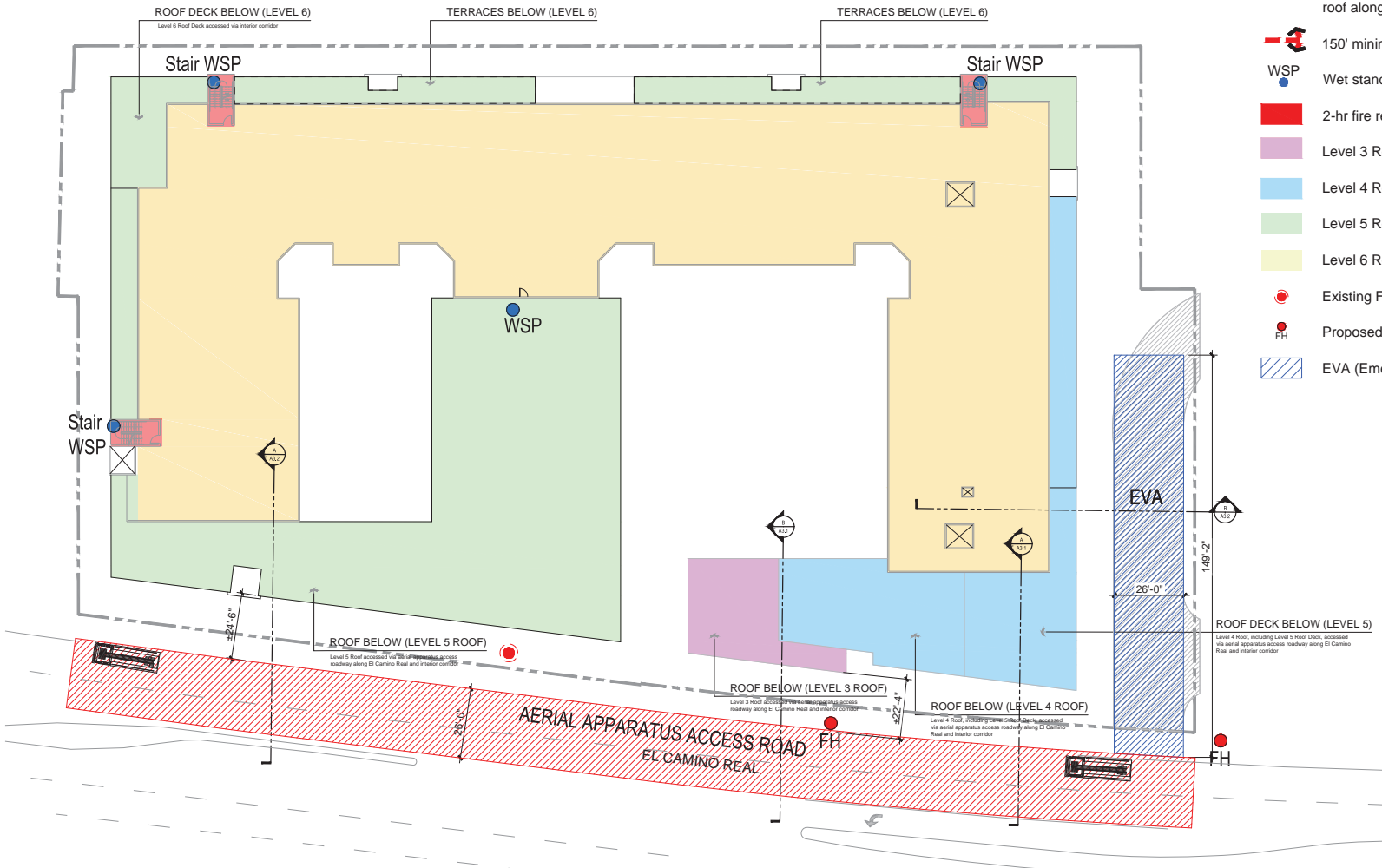
Section B: through EVA

Notes:
 See Landscape Drawings for tree species, height, and canopy width.
 See Plans and Elevations for more information regarding spaces and heights.
 75 Degree max. ladder angle as discussed in call with fire.



Legend

-  26' aerial apparatus access road (Ground level access and minimum of 15' and a max. of 30' to roof along ECR above level 2.)
-  150' minimum hose pull radius and travel distance as noted
-  WSP Wet standpipes at stairs
-  2-hr fire resistive stair w/ roof access
-  Level 3 Roof
-  Level 4 Roof and Level 5 Roof Deck
-  Level 5 Roof and Level 6 Roof Deck
-  Level 6 Roof
-  Existing Fire Hydrant
-  Proposed Fire Hydrant
-  EVA (Emergency Vehicle Access). Max. 150ft, no turnaround



BUILDING 1		
Level	Occupancy Type	Area
Level 2	R-2	10,390 SF
Level 3*	R-2	9,040 SF
Level 4	R-2	8,920 SF
Level 5	R-2	4,010 SF
Level 6	R-2	4,030 SF
TOTAL		36,390 SF
36,390 SF < 48,000 SF		

BUILDING 2		
Level	Occupancy Type	Area
Level 2	R-2	8,980 SF
Level 3	R-2	8,980 SF
Level 4	R-2	8,980 SF
Level 5	R-2	8,080 SF
Level 6	R-2	7,205 SF
TOTAL		42,225 SF
42,225 SF < 48,000 SF		

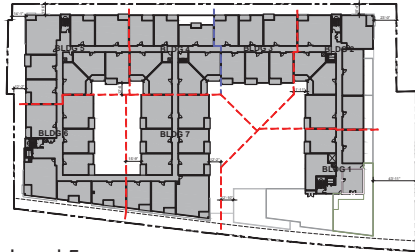
BUILDING 3		
Level	Occupancy Type	Area
Level 2	R-2	5,615 SF
Level 3	R-2	5,685 SF
Level 4	R-2	5,685 SF
Level 5	R-2	5,685 SF
Level 6	R-2	4,835 SF
TOTAL		27,505 SF
27,505 SF < 48,000 SF		

BUILDING 4		
Level	Occupancy Type	Area
Level 2	R-2	7,100 SF
Level 3	R-2	6,760 SF
Level 4	R-2	6,760 SF
Level 5	R-2	6,760 SF
Level 6	R-2	6,265 SF
TOTAL		33,645 SF
33,645 SF < 48,000 SF		

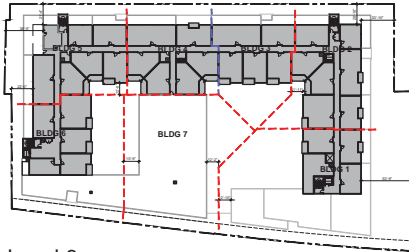
BUILDING 5		
Level	Occupancy Type	Area
Level 2	R-2	8,720 SF
Level 3	R-2	8,725 SF
Level 4	R-2	8,725 SF
Level 5	R-2	8,655 SF
Level 6	R-2	6,565 SF
TOTAL		41,390 SF
41,390 SF < 48,000 SF		

BUILDING 6		
Level	Occupancy Type	Area
Level 2	R-2	8,575 SF
Level 3	R-2	8,585 SF
Level 4	R-2	8,585 SF
Level 5	R-2	8,420 SF
Level 6	R-2	5,050 SF
TOTAL		39,215 SF
39,215 SF < 48,000 SF		

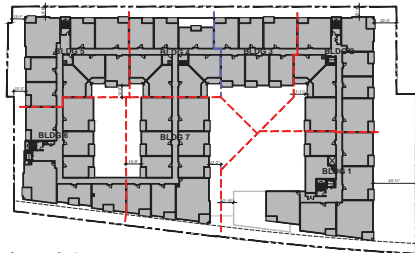
BUILDING 7		
Level	Occupancy Type	Area
Level 2	R-2	9,445 SF
Level 3	R-2	9,475 SF
Level 4	R-2	9,475 SF
Level 5	R-2	9,325 SF
Level 6	R-2	0 SF
TOTAL		37,720 SF
37,720 SF < 48,000 SF		



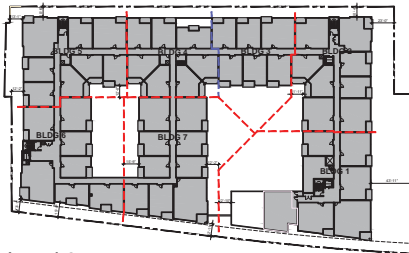
Level 5



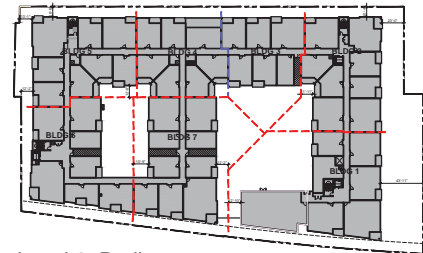
Level 6



Level 4



Level 3



Level 2: Podium

Construction Type: Type IIIA

Allowable Building Height (CBC Table 504.3)
 Allowable building heights: Type IIIA R-2 = 65 feet, 4 Stories
 Allowable building heights with Sprinkler Increase: Type IIIA R-2 = 85 feet, 5 Stories

Allowable Building Area (CBC Section 506.2.3)

$A_B = [A_1 + (NS \times I_1)] \times S_B$
 A_B = Allowable area (square feet)
 A_1 = Tabular allowable area factor per Table 506.2
 NS = Tabular allowable area factor per Table 506.2 for a nonsprinklered building
 I_1 = Frontage Increase (not taken)
 S_B = Number of building stories above grade plane, not to exceed 2

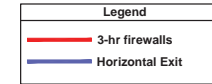
CBC 506.3.3 Frontage Increase:
 $I_1 = [F/P - 0.25] W/30 = 0$ (Frontage Increase not taken)

$A_B = [A_1 + (NS \times I_1)] \times S_B$
 $A_B = [24,000 + (24,000 \times 0)] \times 2$
 $A_B = 48,000 SF$

Allowable building area = 48,000 SF per building

Fire-Resistance Rating Requirements in Type IIIA Construction

Exterior Bearing Walls: 2 Hour (CBC Table 601)
 Exterior Nonbearing Walls: 1 Hour (CBC Table 602)
 Fire Walls: 3 Hour (CBC Table 706.4)
 Stair Enclosure: 2 Hour (CBC Section 713.4)



MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPERATION DISTANCE, SPRINKLERED BUILDING (CBC 705.8)

FIRE SEPERATION DISTANCE	10' TO LESS THAN 15'	15' TO LESS THAN 20'	20' TO LESS THAN 25'
ALLOWABLE AREA OF UNPROTECTED OPENINGS PER CBC 705.8.1 AND TABLE 705.8 AUTOMATIC SPRINKLER SYSTEM	45%	75%	NO LIMIT (SOUTHERN EDGE)

NOTES:
 FACE OF BUILDING IS SEPERATED BY FIRE WALLS. ANY SIDES WITH OPENINGS ARE 10FT OR MORE FROM IMAGINARY PROPERTY LINE FOR 45% OPENINGS PER TABLE ABOVE.
 EXTERIOR WALLS WITH A FIRE SEPERATION DISTANCE GREATER THAN 20' HAVE NO LIMIT TO AREA OF UNPROTECTED OPENINGS PER CBC TABLE 705.8 (SOUTHERN EDGE)
 PROJECT TO COMPLY WITH REQUIRED OPENINGS AND FIRE SEPERATION DISTANCE PER CBC 705.8



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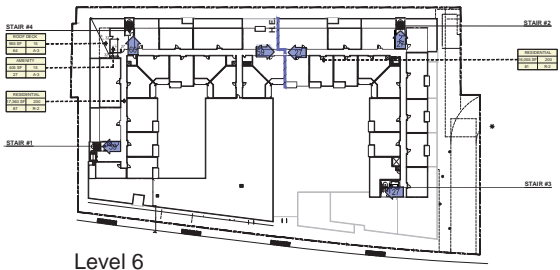
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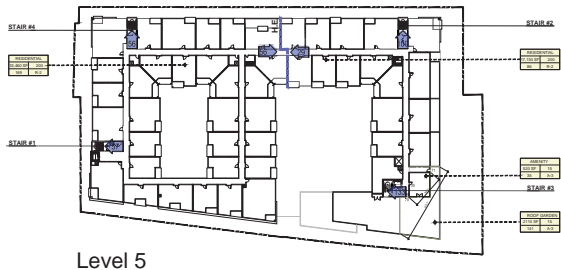
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ALLOWABLE AREA + OPENINGS DIAGRAM
 ALL LEVELS

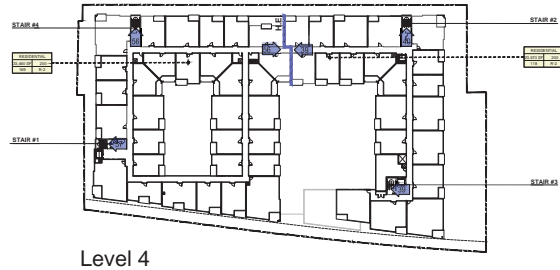
A3.4



Level 6



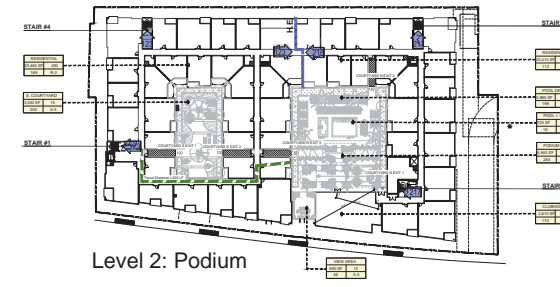
Level 5



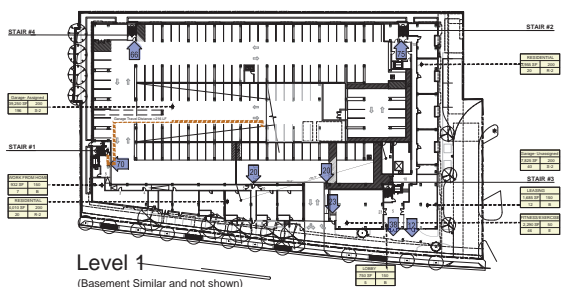
Level 4



Level 3



Level 2: Podium



Level 1
(Basement Similar and not shown)

NOTES + LEGEND

OCCUPANT LOAD FACTOR CALCULATION:
 CBC Table 1004.5, Maximum floor area allowances per occupant

Podium deck + Amenity + Clubhouse
 Assembly without fixed seats: Unconcentrated (tables and chairs)= 15 net

Pod + Spa
 Swimming pool = 50 gross

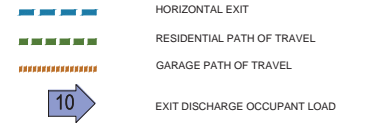
R2: Residential = 200 gross

S: Parking Garage = 200 gross

B: Business = 150 gross

A3: Amenity (Clubhouse): 15sf

E: Exercise: 50 gross



FLOOR AREA (SF)	Name	OCCUPANT SPACE/FUNCTION
10000	200	OCCUPANT LOAD FACTOR (SF/OCCUPANT)
# OF OCCUPANTS	Occupant	R-2
		OCCUPANCY GROUP

NOTES:

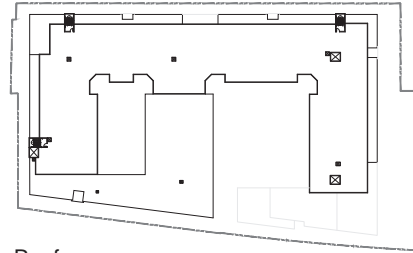
- EGRESS WIDTH SHALL COMPLY WITH CBC SECTION 1005.1
- REQUIRED STAIR WIDTH = OCCUPANT LOAD ÷ 0.2' (CBC 1005.3.1 EXCEPTION 1)
- WIDTH OF STAIR SHALL NOT BE LESS THAN 44 INCHES PER CBC 1029.4, EXCEPTION 1. STAIRWAYS SERVING AND OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36" INCHES
- 55" STAIR PROVIDES CLEARANCE FOR 273 OCCUPANTS
- REQUIRED DOOR WIDTH = OCCUPANT LOAD ÷ 0.15' (CBC 1005.3.2 EXCEPTION 1) (36" MIN. WIDTH DOORS PROVIDED AT EXITS THROUGHOUT)
- SEE PLAN FOR SUMMARY OF OCCUPANT LOAD AT EACH EGRESS COMPONENT
A 3'-8" DOOR PROVIDES 41" OF CLEARANCE FOR 273 OCCUPANTS.
- EXTERIOR EXIT STAIRWAYS SHALL COMPLY WITH CBC SECTION 1026
- ROOF ACCESS DOOR SHALL NOT LOCK OCCUPANTS ON ROOF.
- EXIT ELEVATORS SHALL COMPLY WITH CBC SECTION 1039.2.1
- COURTYARD SPACE ABOVE THE 5-HOUR HORIZONTAL ASSEMBLY FOR GROUP A OCCUPANCIES ARE LIMITED TO LESS THAN 300 PER CBC 510.2.4.
- TWO MEANS OF EGRESS TO BE SEPERATED BY NOT LESS THAN 1/2 OF THE OVERALL DIAGONAL DISTANCE OF THE SPACE PER CBC 1007.

FLOOR AREAS BY LEVEL (SF)	RESIDENTIAL	INDOOR AMENITIES	GARAGE	GSF TOTAL	PATIO / TERRACE
LEVEL 0- BASEMENT		967	71,172	72,139	
LEVEL 1	8,320	6,228	57,201	71,749	467
TYPE IIA TOTAL	8,320	7,195	128,373	143,888	467
LEVEL 2	52,554	2,540		55,094	3,746
LEVEL 3	52,423	1,359		53,782	3,722
LEVEL 4	53,373			53,373	3,778
LEVEL 5	47,244	570		47,814	4,150
LEVEL 6	31,940	437		32,377	5,137
TYPE IIA TOTAL	237,534	4,906		242,440	20,533
BUILDING TOTALS	245,854	12,101	128,373		21,000
GROSS FLOOR AREA (SF)				± 386,328	

COMMON O.S. - PRIVATE (20' MIN.)	SF
LEVEL 2 NORTH COURTYARD	4,876
SOUTH COURTYARD	11,513
LEVEL 5 ROOF DECK 1	2,002
LEVEL 6 ROOF DECK 2	989
	± 19,380
COMMON O.S. - PUBLIC (20' MIN.)	SF
LEVEL 3 MAIN PLAZA	3,200
SECONDARY PLAZA	930
	± 4,230
PRIVATE OPEN SPACE (6' MIN. ABOVE GROUND LEVEL)	SF
UNIT BALCONIES	21,000
	± 21,000
TOTAL RESIDENTIAL OPEN SPACE	SF
*TOTAL REQUIRED (10% OF SITE AREA)	9,507 (10%)
MIR SAN CARLOS MUNICIPAL CODE § 11.05.030-F	

GENERAL NOTES

- Assembly spaces over 750 square feet to have two means of egress along the accessible route per CBC 903.1, 1006.2 and 1119A.
- Two means of egress to be separated by not less than 1/3 of the overall diagonal distance of the space per CBC 1007.
- 98" minimum vertical clearance is required from the garage entrance to the accessible parking space per CBC 1109A.8.1 or 11B-502.5.
- Stair Handrail Extension: Stair handrails at the top and bottom of the stairs shall extend the full dimensions described in CBC 1123A.6.2.3 or 11B-505.10.
- Dead end corridors shall be limited to 50 feet as required by CBC 1020.4 Exception #2.
- Allowable openings per CBC Table 705.5 and Table 705.8.
- Gurney Size Elevator: Elevator shall be designed to accommodate an ambulance stretcher per CBC 3002.4



Roof



Level 6



Level 5



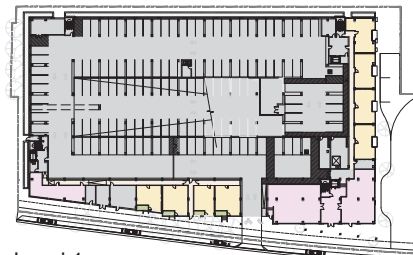
Level 4



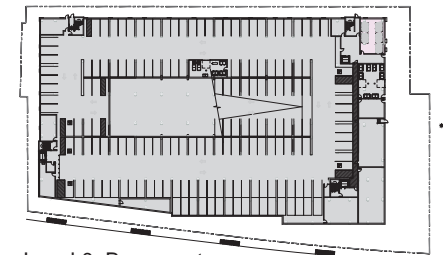
Level 3



Level 2: Podium



Level 1



Level 0: Basement



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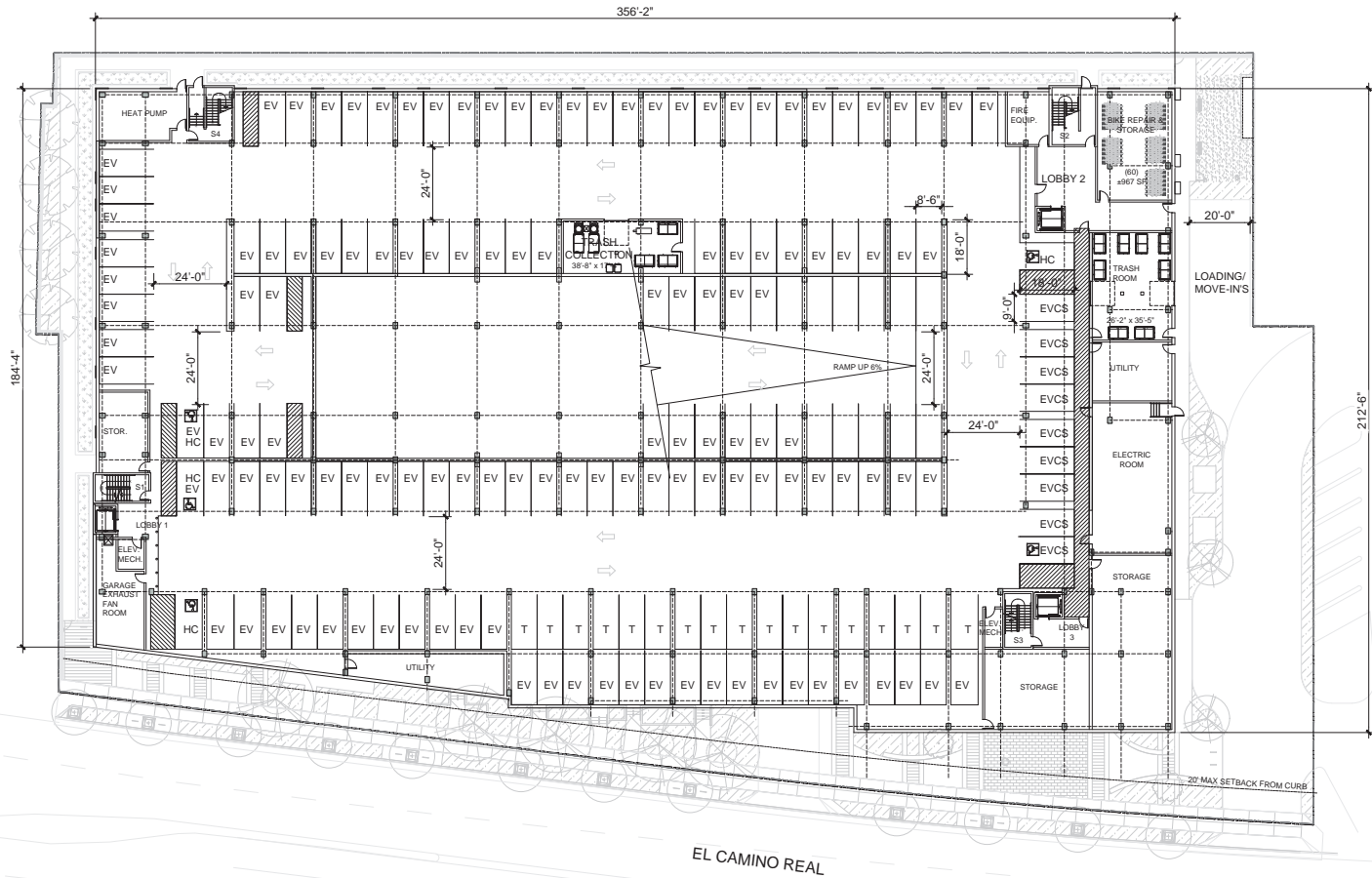
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BUILDING PLANS
ALL LEVELS

A4.0



NOTES:
 EVCS = CALGREEN EVCS PARKING SPACE
 EV = ALL OTHER EV PARKING SPACES



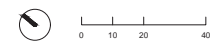
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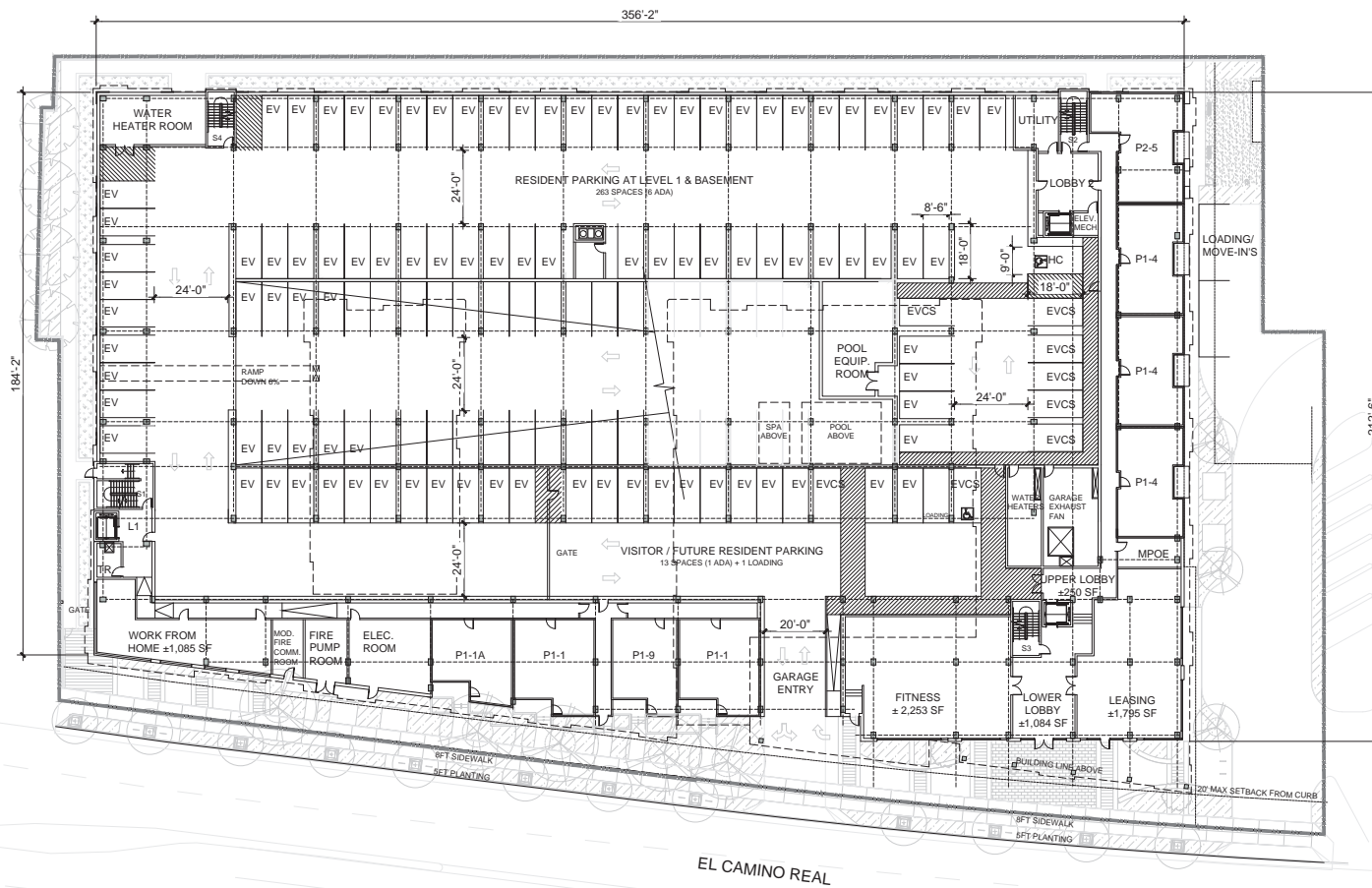
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BUILDING PLAN
 Level 0: Basement

A4.1



NOTES:
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 EV = ALL OTHER EV PARKING SPACES



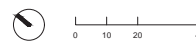
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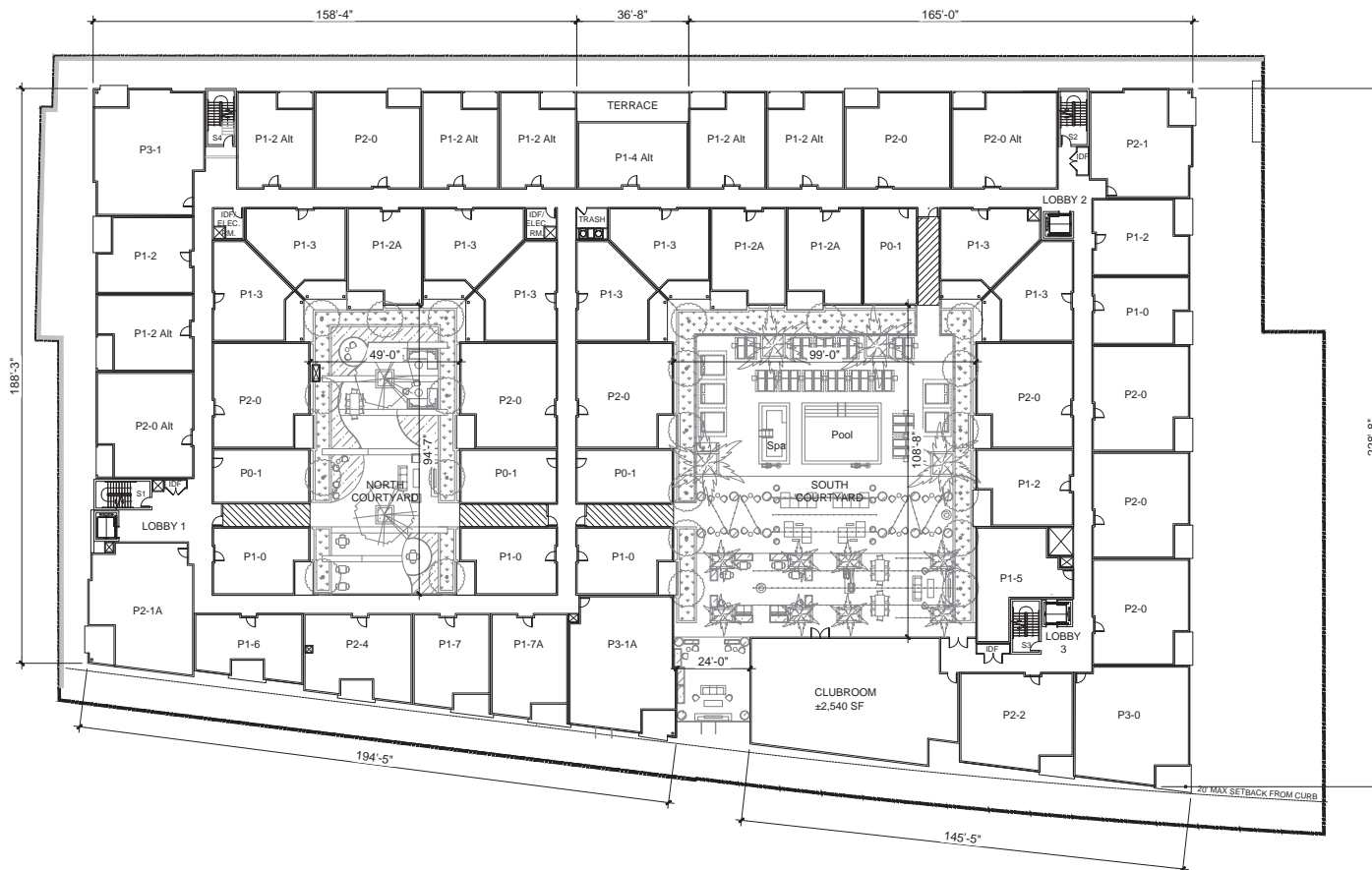
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BUILDING PLAN
 Level 1

A4.2



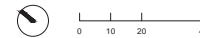
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BUILDING PLAN
 Level 2: PODIUM

A4.3



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BUILDING PLAN
 Level 3

A4.4



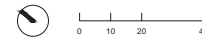
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BUILDING PLAN
 Level 4

A4.5



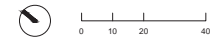
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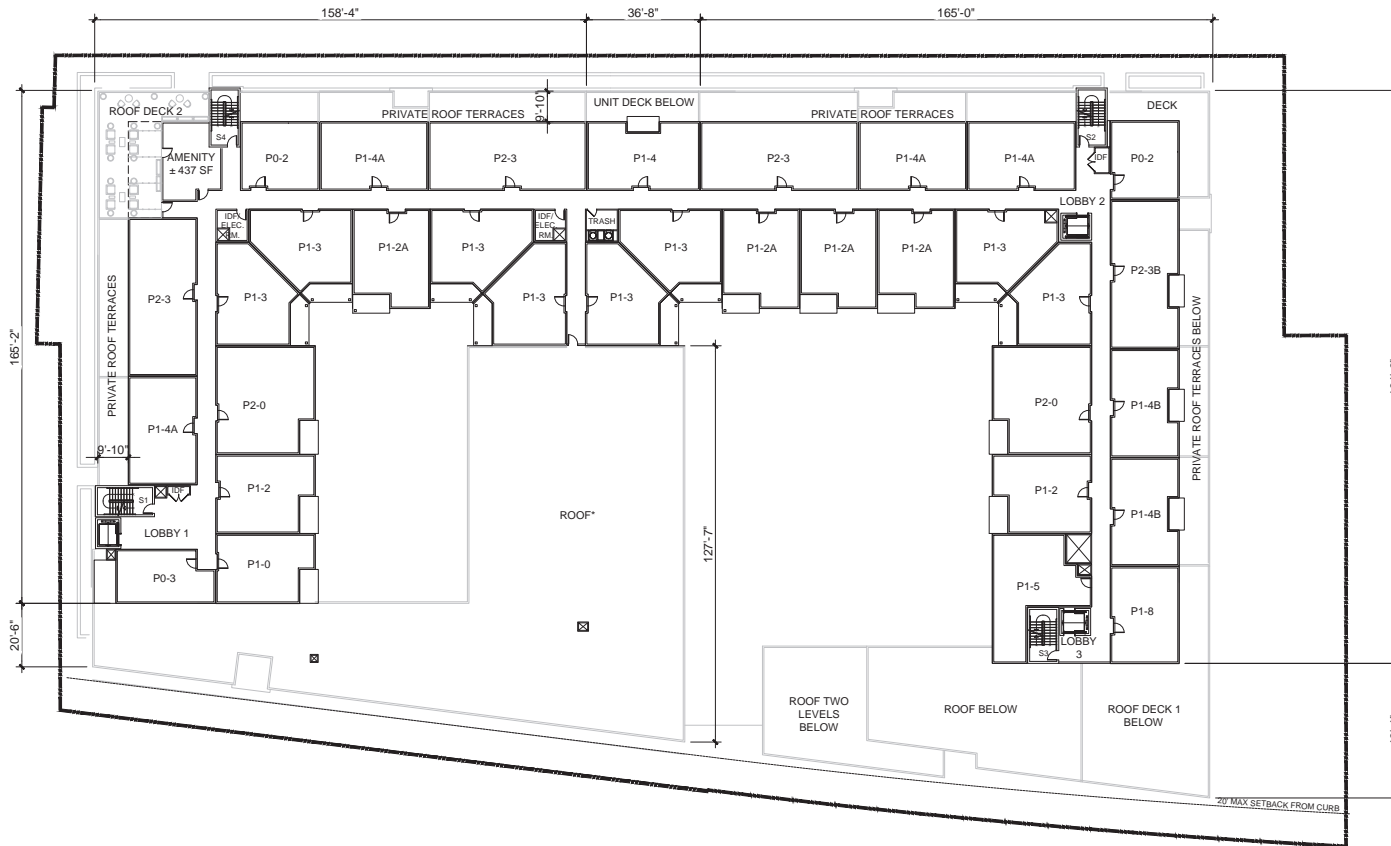
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BUILDING PLAN
 Level 5

A4.6



*Roof top equipment to be incorporated and refined at the building permit plans.



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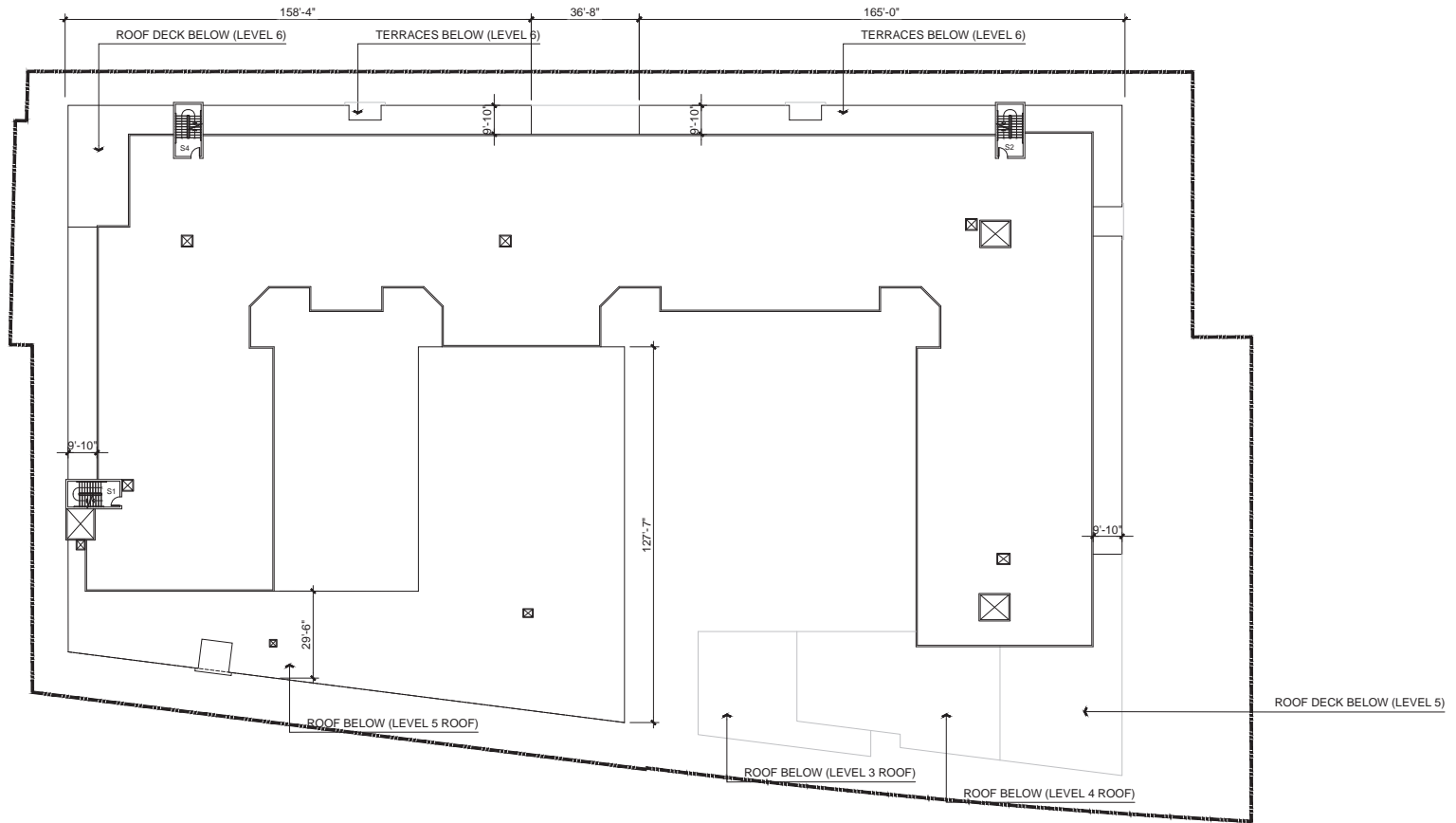
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BUILDING PLAN
Level 6

A4.7



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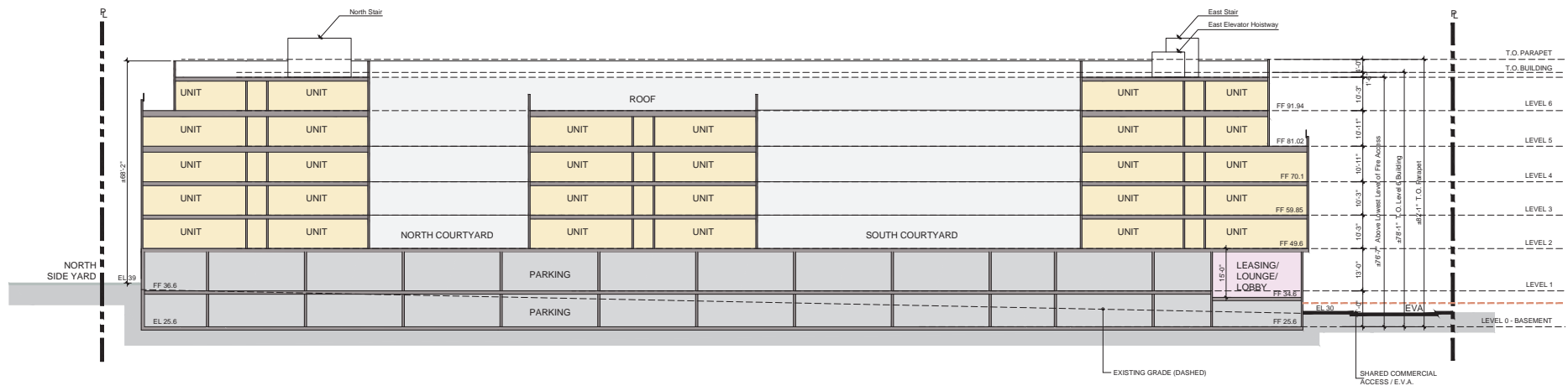
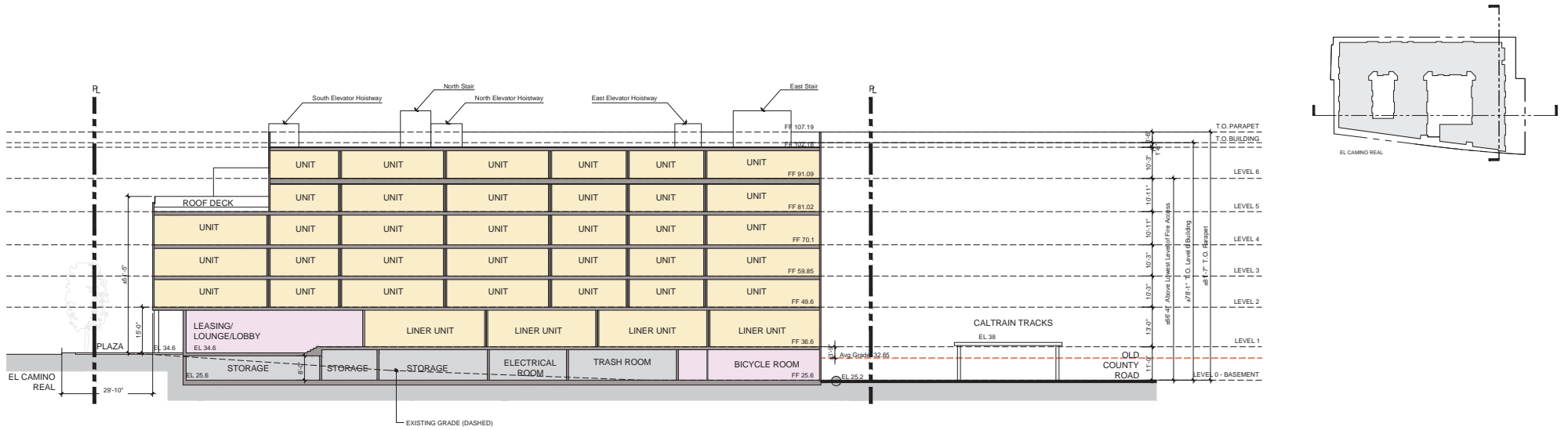
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BUILDING PLAN
Roof

A4.8



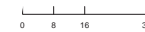
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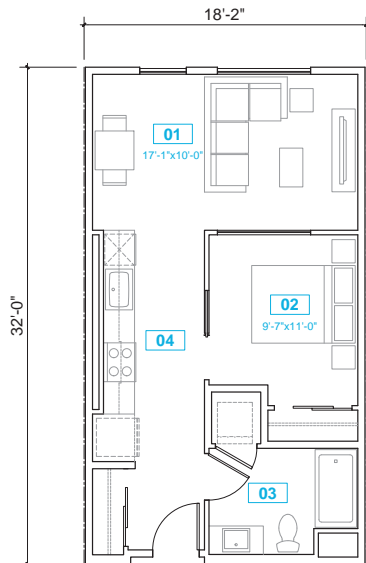
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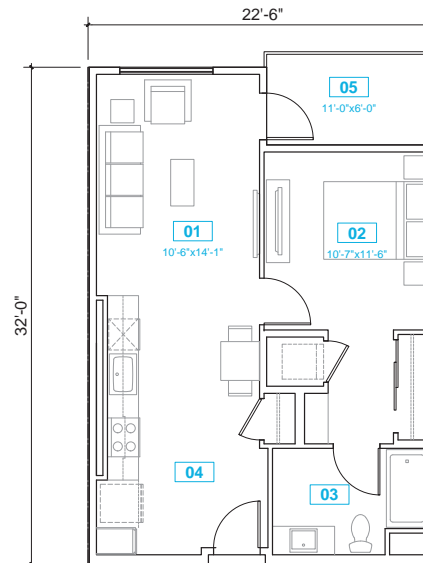


BUILDING SECTIONS

A5.0



PLAN 0-1
STUDIO
1 BATH



PLAN 1-0
1 BEDROOM
1 BATH

CALLOUT LEGEND	
01	GREAT ROOM
02	BEDROOM
03	BATHROOM
04	KITCHEN
05	BALCONY



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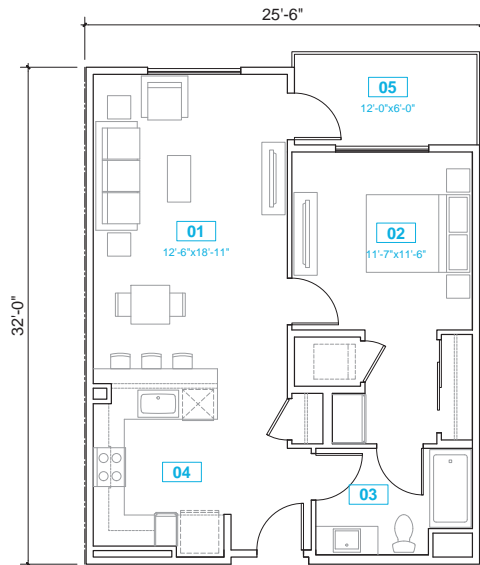
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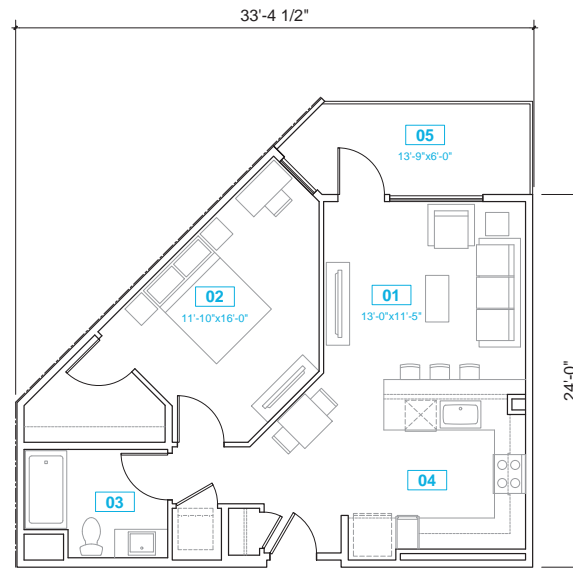
TYPICAL UNIT PLANS

6.0



PLAN 1-2

1 BEDROOM
1 BATH



PLAN 1-3

1 BEDROOM
1 BATH

CALLOUT LEGEND

- 01 GREAT ROOM
- 02 BEDROOM
- 03 BATHROOM
- 04 KITCHEN
- 05 BALCONY



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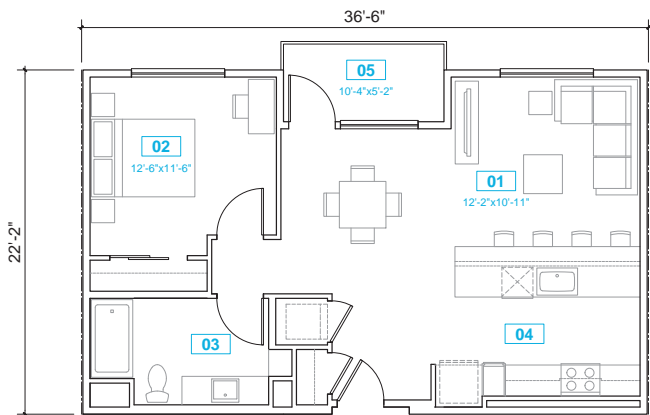
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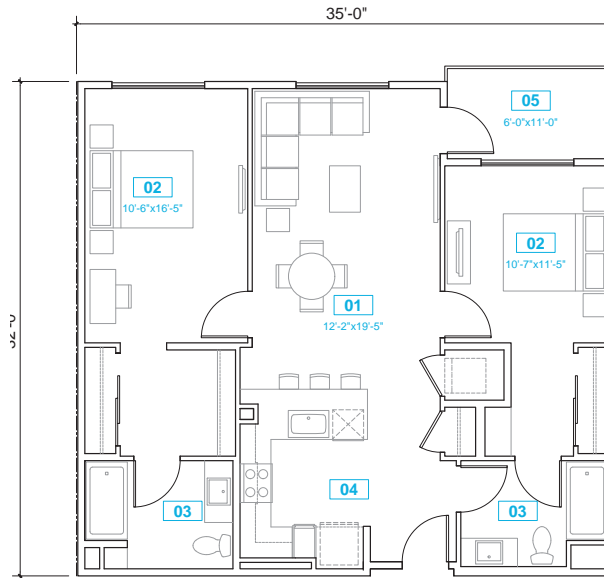
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TYPICAL UNIT PLANS

6.1



PLAN 1-4
1 BEDROOM
1 BATH



PLAN 2-0
2 BEDROOM
2 BATH

CALLOUT LEGEND

- 01 GREAT ROOM
- 02 BEDROOM
- 03 BATHROOM
- 04 KITCHEN
- 05 BALCONY



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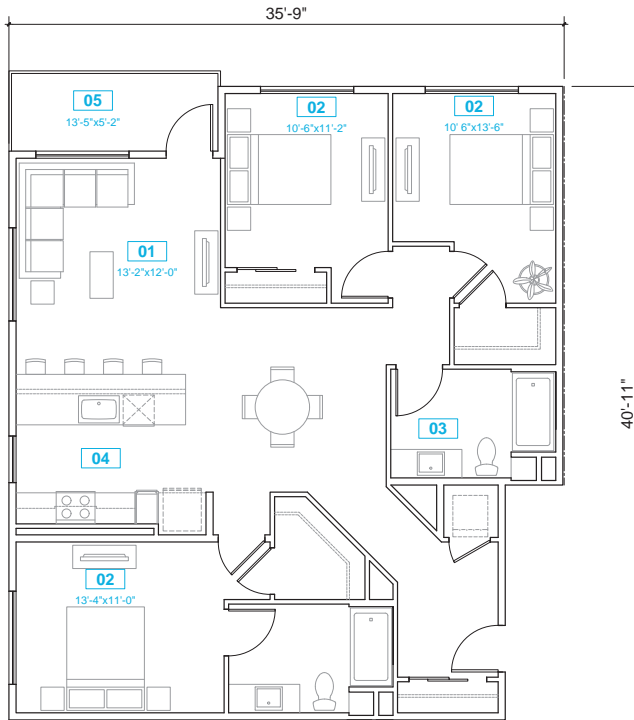
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TYPICAL UNIT PLANS

A6.2



PLAN 3-1
 3 BEDROOM
 2 BATH
 1,350 SF (4 DU)

CALLOUT LEGEND	
01	GREAT ROOM
02	BEDROOM
03	BATHROOM
04	KITCHEN
05	BALCONY



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TYPICAL UNIT PLANS

A6.3



LEGEND

- 1 MAIN PLAZA WITH CURVED PLANTING BEDS, CUSTOM BENCH SEATING, AND DECORATIVE PAVING
- 2 NORTH PLAZA WITH DECORATIVE PAVING
- 3 CLASS II BIKE RACKS, TYP. TOTAL 24 SHORT TERM PARKING SPACES PROVIDED. SEE SHEET L-7 FOR MORE INFORMATION
- 4 5FT WIDE PLANTER STRIP (CURB & PLANTING)
- 5 STREET TREE, INSTALLED IN LARGE POTS DUE TO UNDERGROUND UTILITIES. SEE L-6 FOR MORE INFORMATION. IMPROVEMENT TO BE MAINTAINED BY PROJECT OWNER.
- 6 8FT WIDE DETACHED CONCRETE SIDEWALK
- 7 UNIT ENTRIES WITH STAIRS, HANDRAILS, AND RAISED PLANTERS. PLANTERS TO BE CMU OR CONCRETE, COLOR TO BE BROWN TO COMPLIMENT THE BUILDING. WALL HEIGHT NOT TO EXCEED 3FT.
- 8 WOOD PERIMETER FENCING, 6FT HT. LOCKING GATES EQUIPPED WITH EGRESS HARDWARE AND KNOX BOX FOR FIRE ACCESS. TREX MATERIAL USED AT DOG AREA, STYLE TO MATCH.
- 9 ENCLOSED DOG AREA WITH 5FT HT TUBE STEEL FENCING, SYNTHETIC TURF SURFACING, BENCHES, DRINKING FOUNTAIN, DOG BAG STATION
- 10 TRANSFORMER ON CONCRETE PAD, TYP OF 4
- 11 PERIMETER PATHWAY, SEE CIVIL PLANS
- 12 EXISTING TRANSFORMER
- 13 MOVING/LOADING
- 14 RETAINING WALL, SEE CIVIL PLANS
- 15 POLE LIGHT, SEE JOINT TRENCH DRAWINGS
- 16 STREET LIGHT, SEE JOINT TRENCH DRAWINGS
- 17 VISION/SIGHT TRIANGLE

PROJECT INFORMATION AND CALCULATIONS:

TREES
 PER CITY MUNICIPAL CODE 18.18.070, ONE TREE REQUIRED PER EVERY 5,000 SQ FT OF LOT COVERAGE.

TREES REQUIRED: 19
 TREES PROVIDED: 54
 STREET TREES: 12
 GROUND FLOOR: 14
 PODIUM: 28
 TREES PROVIDED IN PUBLIC REALM IMPROVEMENTS: 22

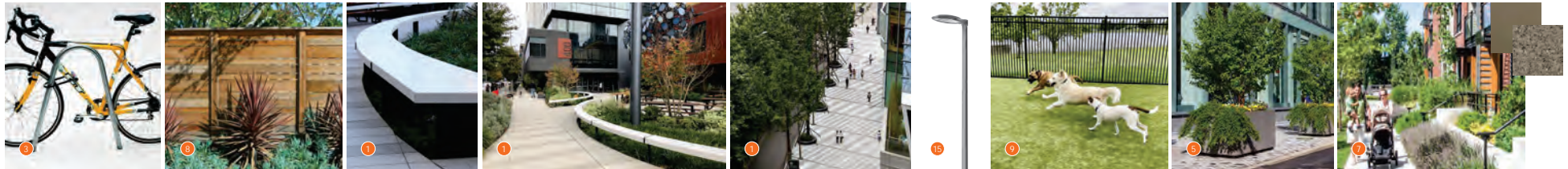
CLASS II SHORT-TERM BIKE PARKING
 SPACES PROVIDED: 24
 REFER TO SHEET L-7 FOR BICYCLE PARKING COMPLIANCE

ROOFTOP GARDEN MAINTENANCE PLAN.
 PRIOR TO OR CONCURRENT WITH BUILDING PERMIT APPLICATIONS, A MAINTENANCE PLAN WILL BE PROVIDED TO ADDRESS VEGETATION PLACED ON ROOFS. (CFC §317.4.3)

LANDSCAPE SHEET INDEX

- L-1 LANDSCAPE PLAN GROUND FLOOR
- L-2 LANDSCAPE PLAN LEVEL 2 PODIUM
- L-3 LANDSCAPE PLAN LEVEL 5-6 ROOF
- L-4 PRELIMINARY IRRIGATION PLAN
- L-5 PRELIMINARY PLANTING PLAN
- L-6 PRELIMINARY PLANT PALETTE, IMAGES, AND NOTES
- L-7 SHORT TERM BICYCLE PARKING COMPLIANCE

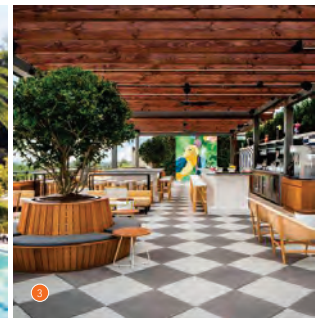
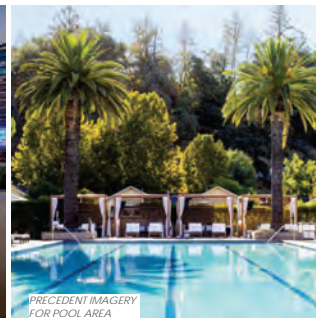
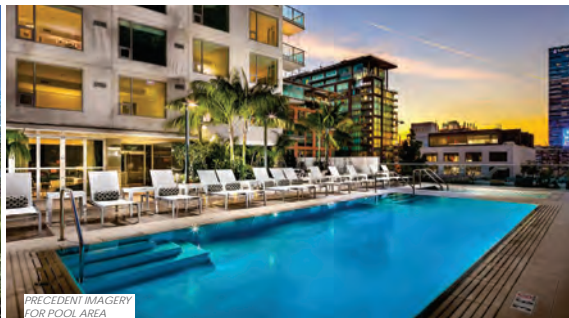
PRECEDENT IMAGERY





- LEGEND**
- 1 STORMWATER PLANTER, TYP
 - 2 POOL AREA WITH POOL, SPA, SHOWER, AND SUN LOUNGE FURNITURE
 - 3 CENTRAL ARCADE WITH LARGE SHADE STRUCTURE, STRING LIGHTS, POTS, AND LOUNGE SEATING
 - 4 PASSIVE LOUNGE WITH SHADE STRUCTURE AND FOCAL ELEMENT
 - 5 ACTIVE LOUNGE FOR DINING WITH TV, SHADE STRUCTURE, STRING LIGHTS, AND 2 ELECTRIC GRILLS
 - 6 VIEW AREA WITH ELECTRIC FIREPLACE AT PARAPET
 - 7 LOW PLANTING, TYP
 - 8 PARTITION, TYP
 - 9 ELECTRIC FIREPIT AND LOUNGE SEATING
 - 10 6FT GLASS SOUND PANEL AT BUILDING EDGE

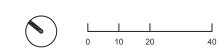
PRECEDENT IMAGERY



Summerhill Apartment Communities
777 S. California Ave
Palo Alto, CA 94304

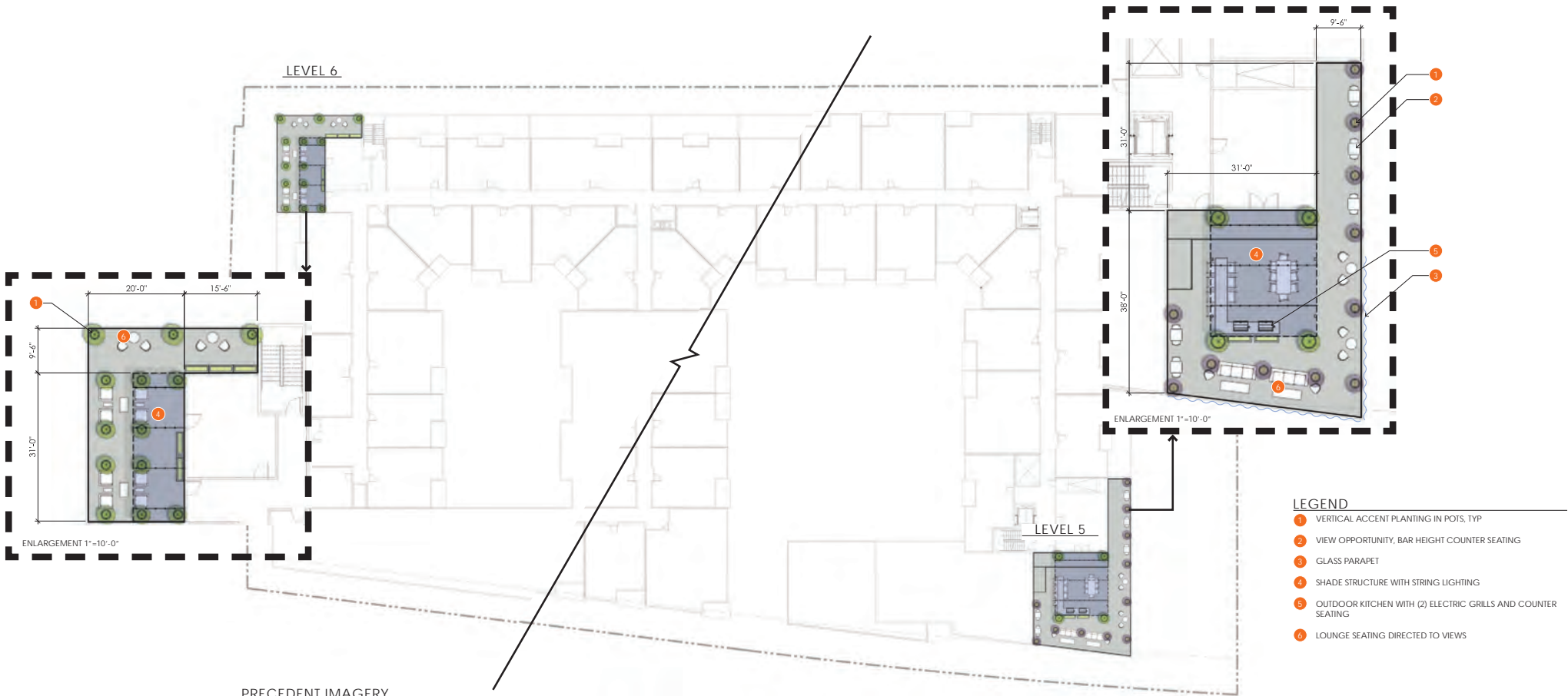
11 El Camino Real
SAN CARLOS # 2021-0216

PLANNING APPLICATION
MAY 24, 2023

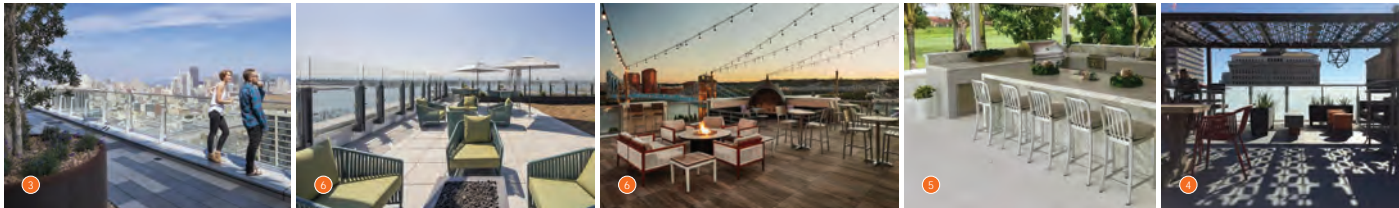


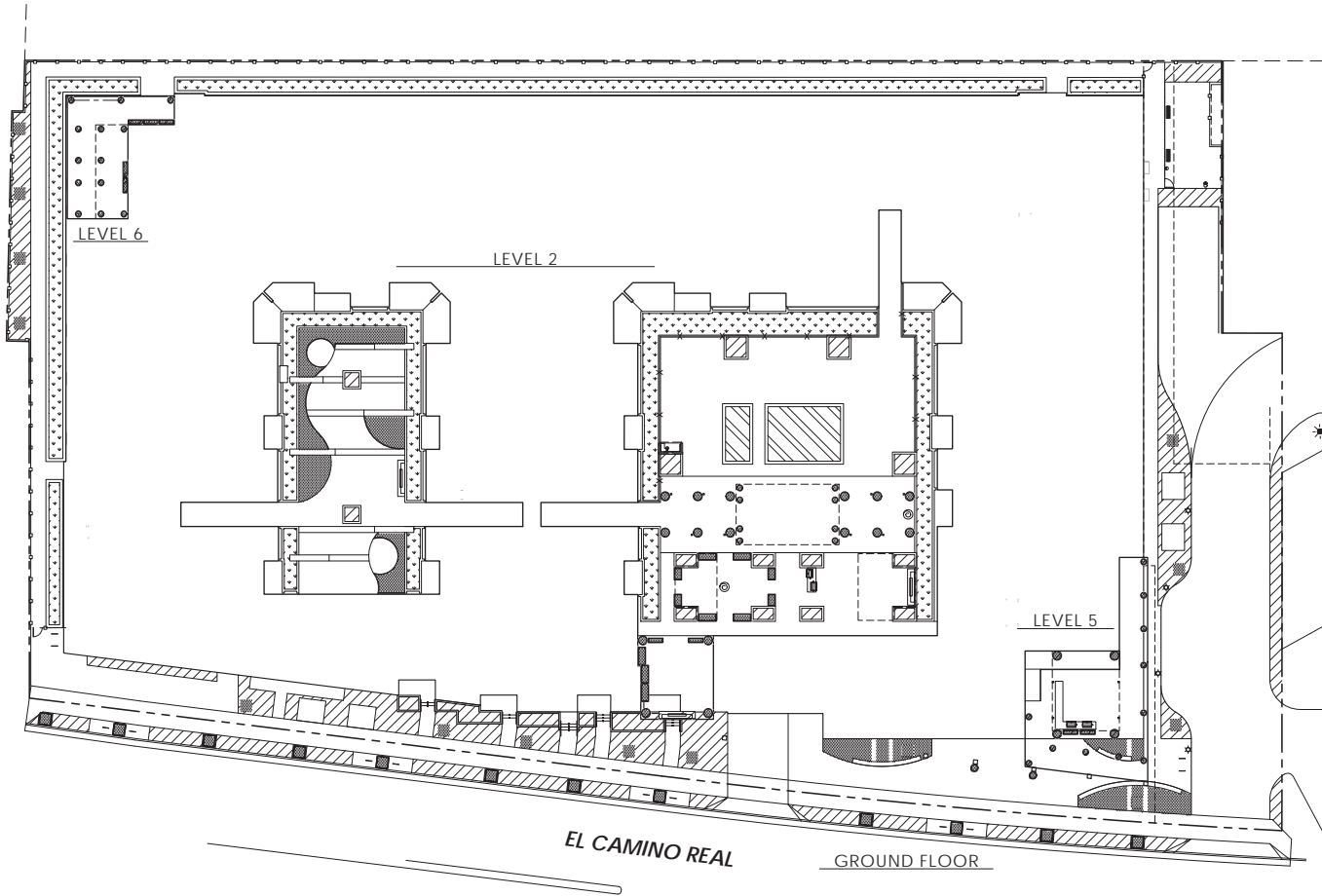
LANDSCAPE PLAN
LEVEL 2: PODIUM

L-2



PRECEDENT IMAGERY





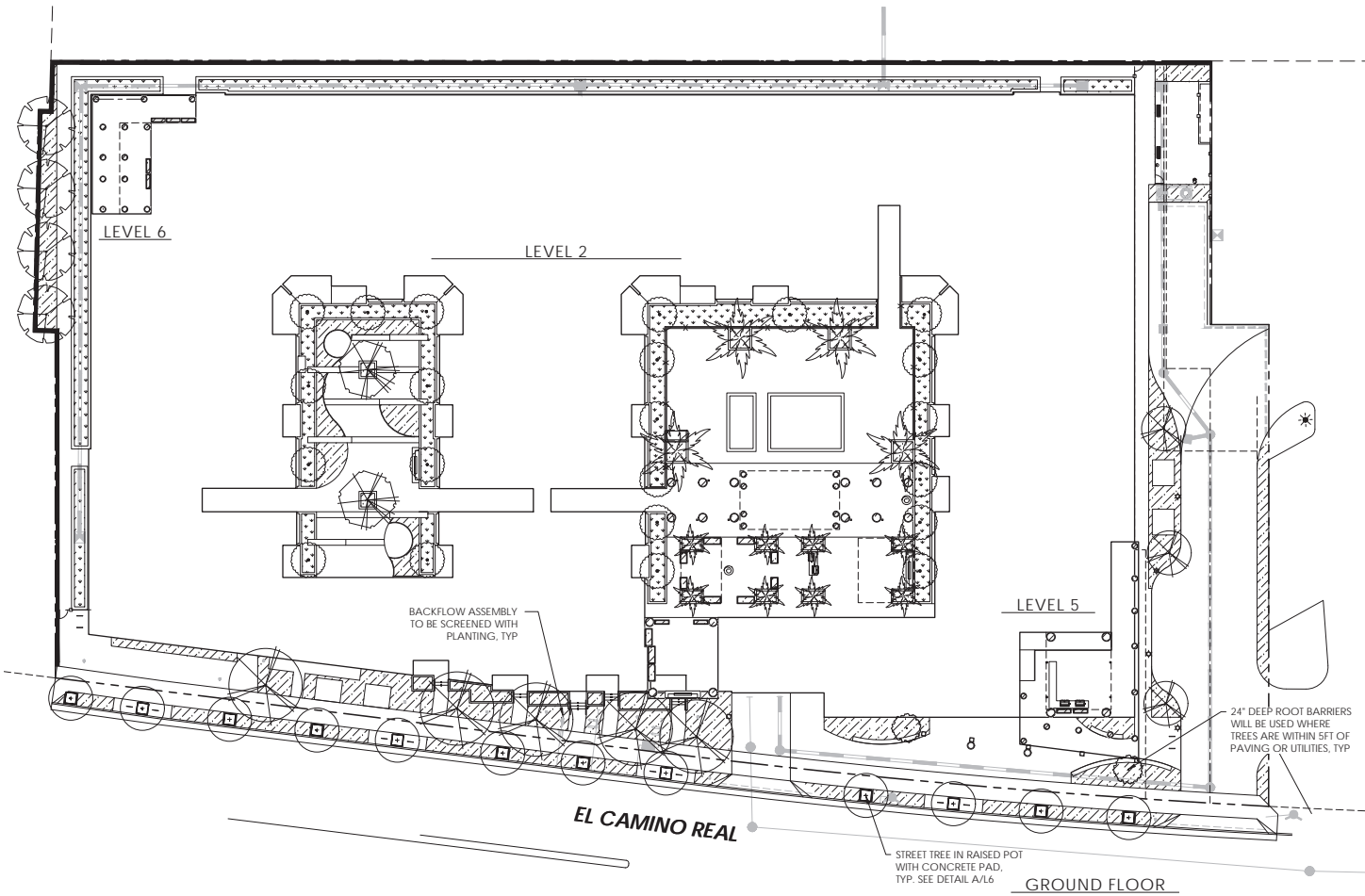
IRRIGATION DESIGN INTENT

1. THESE PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), AND CITY OF SAN CARLOS WATER SERVICE COMPANY REQUIREMENTS.
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
3. THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP AND BUBBLER DISTRIBUTION, AND SPRINKLERS WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE, IF REQUIRED.
4. ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE, AND MINIMUM MAINTENANCE REQUIREMENT.
5. THE SYSTEM SHALL INCLUDE A MASTER CONTROL VALVE AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.

HYDROZONE LEGEND

SYMBOL	ZONE	HYDROZONE	PLANT TYPE	IRRIGATION METHOD	AREA (SF)	TOTAL (SF)	% LANDSCAPE
[Symbol]	1	LOW WATER USE	SHRUB/G.COVER	DRIP	3,905	9,148	76%
[Symbol]	2	LOW WATER USE	TREES	BUBBLER	417		
[Symbol]	3	LOW WATER USE	SHRUB/G.COVER	DRIP	4,474		
[Symbol]	4	LOW WATER USE	TREES	BUBBLER	352	2,360	20%
[Symbol]	5	MODERATE WATER USE	SHRUB/G.COVER	DRIP	1,966		
[Symbol]	6	MODERATE WATER USE	TREES	BUBBLER	394	576	4%
[Symbol]	7	SPECIAL LANDSCAPE	SPA&POOL	-	576		
TOTAL					12,084	12,084	100%

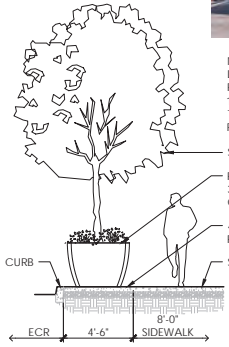
HYDROZONE INFORMATION TABLE								
REFERENCE ANNUAL ET _a FOR:		REDWOOD CITY (NEARBY CITY, MWELO)		42.88				
ET ADJUSTMENT FACTOR	0.55	ET ADJ FACTOR PER MWELO & CALGREEN: 0.80= EXISTING NON-REHABILITATED LANDSCAPE, 0.65= SCHOOL 0.55= RESIDENTIAL, 0.45= NON-RESIDENTIAL	SLA ADDITIONAL WATER ALLOWANCE (1.0-ETAF)	0.45				
HYDROZONE	WUCOLS IV PLANT FACTOR (PF)	RR METHOD Drip & Bubb = 0.81 Spray & Rotor = 0.75	IRRIGATION EFFICIENCY (IE)	ETAF ₁ (PF/IE)	LANDSCAPE AREA (SQ FT)	ETAF ₂ x AREA	ESTIMATED TOTAL WATER USE (ETWU)	
1	0.3	0	0.81	0.37	3905	1446.30	38450.65	
2	0.3	0	0.81	0.37	417	154.44	4108.00	
3	0.3	0	0.81	0.37	4474	1657.04	44053.32	
4	0.3	0	0.81	0.37	352	130.37	36.37	
5	0.6	0	0.81	0.74	1966	1459.30	38715.51	
6	0.6	0	0.81	0.74	394	291.85	7759.06	
-	0	0	.81	0.00	0	0.00	0.00	
SPECIAL LANDSCAPE AREAS					TOTAL	11508.00	5136.30	133,121.92
7	SPA & POOL			0	576	0.00	0.00	
					TOTAL	0	0.00	
					TOTAL	576	0.00	
					TOTAL	12,084.00	0.00	
TOTAL ETWU					TOTAL ETWU ALL AREAS (SLA AND REGULAR LA)	TOTAL ETWU	133,121.92	
MAMA					(ANNUAL ET ₀)(0.62 CONVERSION FACTOR) [(ET ADJUSTMENT FACTOR)(TOTAL LANDSCAPE AREA) + (1-ETAF)(SLA)]	MAMA	183,584.20	
AVERAGE ETAF					SUM(ETAF ₂ X AREA) / TOTAL AREA (AVERAGE ETAF AS DESIGNED, EXCLUSIVE OF SLA)		0.45	
SITEWIDE ETAF					TOTAL ETAF X AREA / TOTAL LANDSCAPE AREA (INCLUDES SLA)		0.43	



PRELIMINARY PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME
STREET TREES		
	ACER BUERGERIANUM OR LAGERSTROEMIA 'NATCHEZ'	TRIDENT MAPLE OR WHITE FLOWERING CRAPE MYRTLE
TREES AND PALMS		
	AFROCARPUS GRACILIOR	AFRICAN FERN PINE
	ARBUTUS 'MARINA'	'MARINA' STRAWBERRY TREE
	ACER PALMATUM 'ATROPURPUREUM'	RED LEAF JAPANESE MAPLE
	ACER PALMATUM 'SANGO KAKU'	JAPANESE MAPLE
	CERCIS CANADIENSIS 'FOREST PANSY'	EASTERN REDBUD
	LAURUS NOBILIS 'SARATOGA'	SWEET BAY
	GINKGO BILOBA 'AUTUMN GOLD'	MAIDENHAIR TREE
	LOPHOSTEMON CONFERTUS	BRISBANE BOX
	PHOENIX DACTYLOFERA	DATE PALM
	SYAGRUS ROMANZOFFIANA	QUEEN PALM
SHRUBS, GRASSES & PERENNIALS		
	ACACIA COGNATA 'COUSIN IT'	LITTLE RIVER WATTLE
	AIZONIUM 'MINT SAUCER'	SAUCER PLANT
	AGAVE ATTENUATA 'NOVA'	BLUE FOXTAIL AGAVE
	ARCTOSTAPHYLOS 'JOHN DOURLEY'	JOHN DOURLEY MANZANITA
	ASPIDISTRA ELATOR	CAST IRON PLANT
	CEANOBIUS 'DARK STAR'	DARK STAR CEANOBIUS
	CHONDRPETALUM TECTORUM 'EL CAMPO'	EL CAMPO CAPE RUSH
	CISTUS X HYBRIDUS	ROCK ROSE
	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY
	DIETES BICOLOR	FORNIGHT LILY
	EUPHORBIA X MARTINI 'RED MARTIN'	SPURGE
	FESTUCA MAREI	MT ATLAS FESCUE
	HELICTHICHON SEMPERVIRENS	BLUE OAT GRASS
	HESPERALOE PARVIFOLIA 'BREAKLIGHT'	RED YUCCA
	NANDINA 'LEMON LIME'	HEAVENLY BAMBOO
	LOMANDRA 'BREEZE'	DWARF MAT RUSH
	LOROPETALUM CHINENSE 'SHANG-WHITE'	EMERALD SNOW FRINGE FLOWER
	MAHONIA ACULIFOLIUM	OREGON GRAPE
	MULLENBERGIA DUBIA	PINE MILHLY
	PITOSPORUM TOBIRA	MOCK ORANGE
	PHORMIUM	DWARF FLAX
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN
	ROSMARINUS 'TUSCAN BLUE'	ROSEMARY
	SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE
	SANTOLINA CHAMAECYPARISSUS	GRAY LAVENDER COTTON
	SARCOCOCCA HOOKERIANA VAR HUMILIS	SWEET BOX
	SOILYA HETEROPHYLLA	AUSTRALIAN BLUEBELL
GROUNDCOVER		
	CAREX TUMULICOLA	BERKELEY SEDGE
	CISTUS S. 'PROSTRATUS'	SAGELEAF ROCKROSE
	SATUREJA DOUGLASSI	YERBA BUENA
	SASA VEITCHII	NAGASA BAMBOO
	SENECIO SERPENS	BLUE CHALK STICK
STORMWATER		
	CAREX TUMULICOLA	BERKELEY SEDGE
	CHONDRPETALUM ELEPHANTINUM	LARGE CAPE RUSH
	FESTUCA MAREI	ATLAS FESCUE
	JUNCUS PATENS	CALIFORNIA GRAY RUSH
	SALVIA ULIGINOSA	BLUE SPIKE SAGE
	SYRINCHIUM BELLUM 'NORTH COAST'	BLUE-EYED GRASS

PLEASE REFER TO SHEET L-6 FOR FULL PALETTE.



NOTE:
DUE TO THE PROXIMITY OF THE PROPOSED STREET TREES TO THE EXISTING 12" WATER MAIN AND 8" GAS LINE, THE TREES ARE PROPOSED TO BE LOCATED IN RAISED POTS TO AVOID CONFLICTS.

STREET TREE, SEE PLANT PALETTE

PRECAST CONCRETE POT, 48" SQ x 34" TALL. POT TO BE SECURED TO A CONCRETE PAVING

4'-6" SQ CONCRETE PAVING BELOW POT

SIDEWALK

ECR 4'-6" 8'-0" SIDEWALK

A STREET TREE IN RAISED POT
SCALE: 1/4"=1'-0"

PRELIMINARY PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	CONT. SIZE	SPACING	WTR USE
STREET TREES					
	ACER BUERGERIANUM OR LAGERSTROEMIA 'NATCHEZ'	TRIDENT MAPLE OR WHITE FLOWERING CRAPE MYRTLE	24" BOX	30' OC	M OR L
TREES AND PALMS					
	AFROCARPUS GRACILIOR	AFRICAN FERN PINE	24" BOX	PER PLAN	M
	ARBUTUS 'MARINA'	'MARINA' STRAWBERRY TREE	24" BOX	PER PLAN	L
	ACER PALMATUM 'ATROPURPUREUM'	RED LEAF JAPANESE MAPLE	24" BOX	PER PLAN	M
	ACER PALMATUM 'SANGO KAKU'	JAPANESE MAPLE	24" BOX	PER PLAN	M
	CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD	24" BOX	PER PLAN	M
	LAURUS NOBILIS 'SARATOGA'	SWEET BAY	24" BOX	PER PLAN	L
	GINKGO BILOBA 'AUTUMN GOLD'	MAIDENHAIR TREE	24" BOX	PER PLAN	M
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	PER PLAN	M
	PHOENIX DACTYLIFERA	DATE PALM	15FT BTH	PER PLAN	L
	SYAGRUS ROMANZOFFIANA	QUEEN PALM	10FT BTH	PER PLAN	M
SHRUBS, GRASSES & PERENNIALS					
	ACACIA COGNATA 'COUSIN IT'	LITTLE RIVER WATTLE	5 GAL	4'-0" OC	L
	AEONIUM 'MINT SAUCER'	SAUCER PLANT	1 GAL	2'-0" OC	L
	AGAVE ATTENUATA 'NOVA'	BLUE FOXTAIL AGAVE	1 GAL	5'-0" OC	L
	ARCTOSTAPHYLOS JOHN DOURLEY	JOHN DOURLEY MANZANITA	5 GAL	4'-0" OC	L
	ASPIDISTRA ELATIOR	CAST IRON PLANT	1 GAL	2'-0" OC	L
	CEANOTHUS 'DARK STAR'	DARK STAR CEANOTHUS	5 GAL	8'-0" OC	L
	CHONDROPETALUM TECTORUM 'EL CAMPO'	EL CAMPO CAPE RUSH	1 GAL	4'-0" OC	L
	CISTUS X HYBRIDUS	ROCK ROSE	1 GAL	1'-0" OC	L
	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	5 GAL	2'-0" OC	L
	DIETES BICOLOR	FORTNIGHT LILY	5 GAL	3'-0" OC	L
	EUPHORBIA X MARTINII 'RED MARTIN'	SPURGE	1 GAL	2'-0" OC	L
	FESTUCA MAIREI	MT ATLAS FESCUE	1 GAL	3'-0" OC	L
	HELICHOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	2'-0" OC	L
	HESPERALOE PARVIFOLIA 'BREAKLIGHT'	RED YUCCA	5 GAL	4'-0" OC	L
	NANDINA 'LEMON LIME'	HEAVENLY BAMBOO	5 GAL	2'-0" OC	L
	LOMANDRA 'BREEZE'	DWARF MAT RUSH	1 GAL	3'-0" OC	L
	LOROETETALUM CHINENSE 'SHANG-WHITE'	EMERALD SNOW FRINGE FLOWER	5 GAL	4'-0" OC	L
	MAHONIA AQUIFOLIUM	OREGON GRAPE	5 GAL	2'-0" OC	L
	MUHLENBERGIA DUBIA	PINE MUHLY	5 GAL	2'-4" OC	L
	PITOSPORIUM TOBIRA	MOCK ORANGE	5 GAL	VARIABLES	L
	PHORMIUM	DWARF FLAX	1 GAL	VARIABLES	L
	POLYSTICHUM MUNIUM	WESTERN SWORD FERN	1 GAL	3'-0" OC	M
	ROSMARINUS 'TUSCAN BLUE'	ROSEMARY	5 GAL	4'-0" OC	L
	SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE	5 GAL	4'-0" OC	L
	SANTOLINA CHAMAECYPARISSUS	GRAY LAVENDER COTTON	1 GAL	3'-0" OC	L
	SARCOCOCCA HOOKERIANA VAR HUMILIS	SWEET BOX	5 GAL	3'-0" OC	L
	SOLLYA HETEROPHYLLA	AUSTRALIAN BLUEBELL	5 GAL	3'-0" OC	L
GROUNDCOVER					
	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	3'-0" OC	L
	CISTUS S 'PROSTRATUS'	SAGELAF ROCKROSE	1 GAL	4'-0" OC	L
	SATUREJA DOUGLASII	YERBA BUENA	1 GAL	2'-0" OC	L
	SASA VEITCHII	NAGASA BAMBOO	1 GAL	3'-0" OC	L
	SENECIO SERPENS	BLUE CHALK STICK	1 GAL	2'-0" OC	L
STORMWATER					
	CAREX TUMULICOLA	BERKELEY SEDGE	5 GAL	2'-0" OC	L
	CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL	6'-0" OC	L
	FESTUCA MAIREI	ATLAS FESCUE	5 GAL	3'-0" OC	L
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	5 GAL	2'-4" OC	L
	SALVIA ULIGINOSA	BLUE SPIKE SAGE	5 GAL	2'-0" OC	L
	SYRINCHIUM BELLUM 'NORTH COAST'	BLUE-EYED GRASS	5 GAL	1'-0" OC	L

PLANT IMAGERY

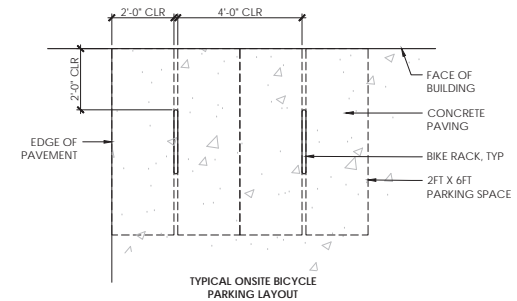
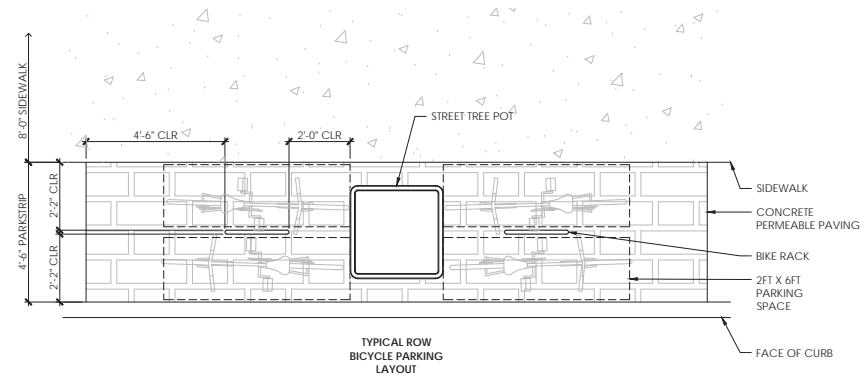


SHRUBS, GRASSES & PERENNIALS



PLANTING DESIGN INTENT

1. ALL TREES WITHIN 5' OF PAVEMENT SHALL USE TREE ROOT BARRIERS, INCLUDING ALL STREET TREES IN PLANTER STRIPS.
2. ALL TREES, EXISTING AND PROPOSED, SHALL BE PLANTED TO MEET THE MINIMUM CLEARANCE OUTLINED IN THE SILICON VALLEY POWER SD-1235 TREE PLANTING REQUIREMENTS NEAR UNDERGROUND ELECTRICAL FACILITIES DOCUMENT. TREES SHALL NOT BE PLANTED IN PUE'S OR ELECTRIC EASEMENTS.
3. THE PLANTING DESIGN SHALL UTILIZE A VARIETY OF MEDITERRANEAN-STYLE, NATIVE, AND DROUGHT-TOLERANT PLANT SPECIES TO CREATE LAYERS OF COLOR AND TEXTURE TO COMPLEMENT THE ARCHITECTURE AND SETTINGS.
4. PLANT SPECIES SHALL BE SELECTED BASED ON LOCAL CLIMATE SUITABILITY, DISEASE AND PEST RESISTANCE, AND WATER-USE AS LISTED IN THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) PLANT LIST, WUCOLS IV.
5. 80% OF PLANT MATERIAL TO BE NATIVE OR LOW WATER USE AND FOLLOW MWELO GUIDELINES.
6. TURF/LAWN SHALL NOT EXCEED 10% OF THE LANDSCAPE AREA. TURF SPECIES, IF INCLUDED, SHALL BE A FESCUE-BLEND TURF GRASS TO MINIMIZE WATER CONSUMPTION.
7. NO PLANT CONSIDERED INVASIVE IN THE REGION AS LISTED BY THE CAL-IPC WILL BE USED.
8. THE PLANTING DESIGN SHALL ALLOW FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE TO ELIMINATE THE NEED FOR EXCESSIVE PRUNING OR HEDGING.
9. PLANTS SHALL BE GROUPED IN HYDROZONES BASED ON WATER USE AND EXPOSURE.
10. TREE LOCATIONS SHALL BE DESIGNED FOR MAXIMUM AESTHETIC EFFECTS AND PASSIVE SOLAR BENEFITS, CREATING SUMMER SHADE AND WINTER SUN EXPOSURE.
11. ALL PLANTING AREAS SHALL RECEIVE A 3-INCH LAYER OF MULCH.

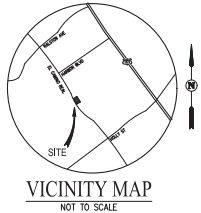
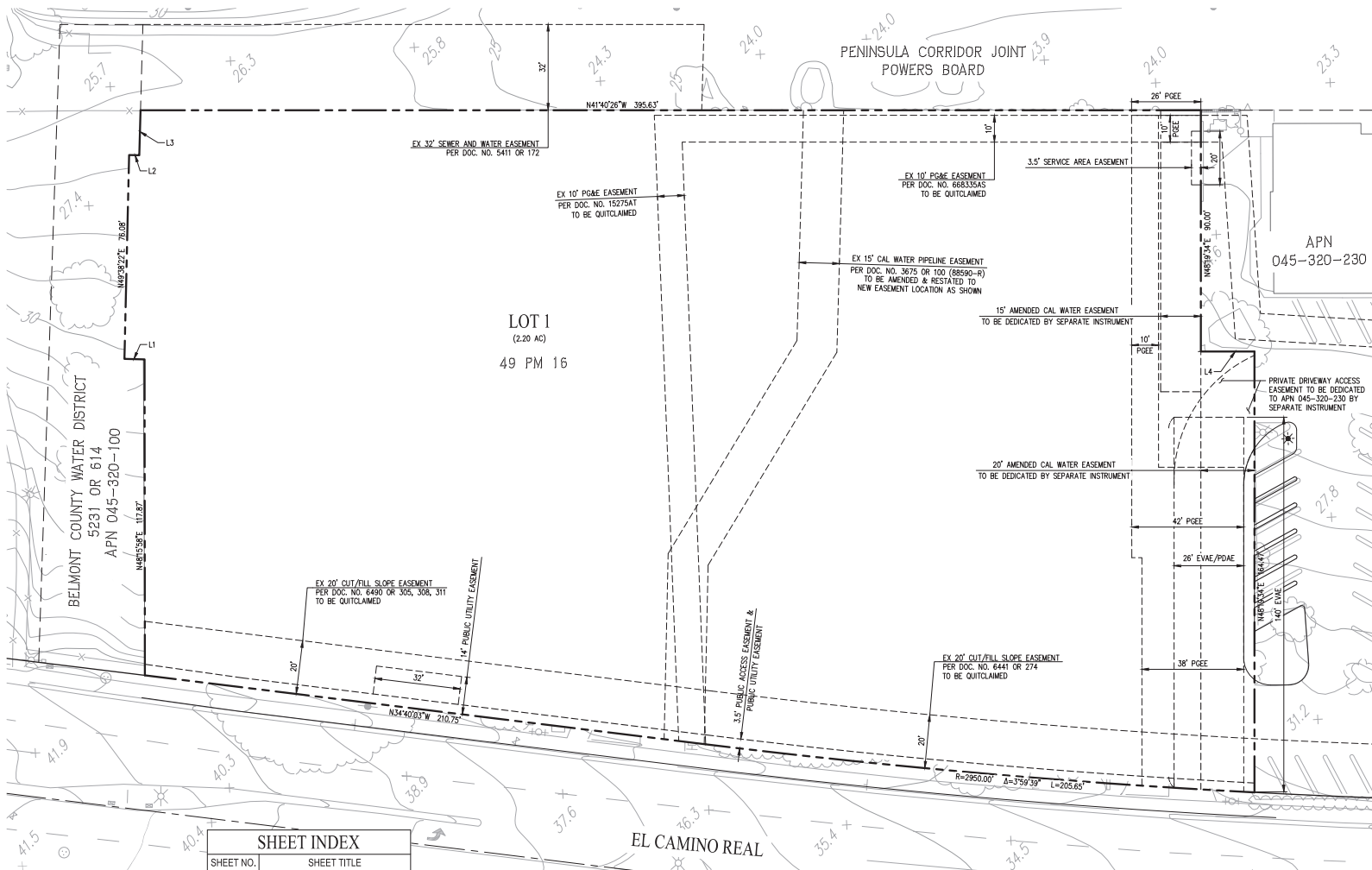


A SHORT TERM BICYCLE PARKING LAYOUT
SCALE: 1/2" = 1'-0"



MANUFACTURER: LANDSCAPEFORMS
MODEL: BOLA
MATERIAL/FINISH: ELECTRO POLISHED STAINLESS STEEL
INSTALLATION: EMBEDDED

B SHORT TERM BICYCLE RACK
SCALE: N/S



CONTACTS

- 1. DEVELOPER: SUMMERHILL APARTMENT COMMUNITIES
RICHARD NORRIS
777 S. CALIFORNIA AVENUE
PALO ALTO, CA 94304
- 2. CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
RYAN HANSEN
2833 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 866-0322
- 3. ARCHITECT: KITCY GROUP, INC.
ILEY CHAMAKICHELLA
1814 FRANKLIN STREET, STE 400
OAKLAND, CA 94612
- 4. GEOTECHNICAL: ROCKRIDGE GEOTECHNICAL
ORAG S. SHELDON
270 GRAND AVENUE
OAKLAND, CA 94610

GENERAL NOTES

- 1. ASSESSORS PARCEL NO: 045-320-220 AND 045-320-170
- 2. SITE ADDRESS: 11 EL CAMINO REAL, SAN CARLOS, CA
- 3. EXISTING ZONING/GENERAL PLAN: MJL-NB-120 MIXED-USE NORTH BOULEVARD ZONING AND MIXED-USE, HIGH DENSITY (90-120 DU/AC)
- 4. EXISTING LAND USE: RETAIL
- 5. PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL
- 6. SITE AREA: 2.20 AC± (1 PARCEL)
- 7. DWELLING UNITS: 242 UNITS
- 8. DENSITY: 110 DU/AC
- 9. EXISTING STRUCTURES: EXISTING STRUCTURES ON THE SITE WILL BE DEMOLISHED PRIOR TO CONSTRUCTION.
- 10. STREET TREES: STREET TREES SHALL BE PROVIDED AS REQUIRED BY THE CITY AND WILL BE PRIVATELY MAINTAINED.
- 11. STREET LIGHTS: STREET LIGHTS ON PRIVATE PROPERTY WILL BE PRIVATELY MAINTAINED.
- 12. UTILITY PROVIDERS:
WATER: CALIFORNIA WATER SERVICE (CALWATER)
SANITARY SEWER: CITY OF SAN CARLOS
STORM DRAIN: CITY OF SAN CARLOS
GAS & ELECTRIC: PG&E
TELEPHONE: AT&T
- 13. TRASH: TRASH STAGING AREA TO BE PRIVATELY MAINTAINED ON-SITE.
- 14. WELLS ON-SITE: NONE
- 15. FLOOD ZONE: ZONE X: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
- 16. BENCHMARK: CITY OF SAN CARLOS BM99, BRASS OAK DISK SET IN THE TOP OF THE NE CURB RETURN OF SPRING STREET AT EL CAMINO REAL.
- 17. DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL MAP.
- 18. GRADING: ALL GRADING AS SHOWN IS SUBJECT TO FINAL DESIGN.
- 19. CALTRANS: EL CAMINO REAL IS A STATE OWNED HIGHWAY AND WILL REQUIRE APPROVAL AND ISSUANCE OF AN ENFORCEMENT PERMIT.
- 20. TREES: ALL ON-SITE TREES ARE TO BE REMOVED UNLESS OTHERWISE NOTED.

SHEET INDEX

SHEET NO.	SHEET TITLE
C1.0	VESTING TENTATIVE PARCEL MAP
C2.0	EXISTING BOUNDARY AND DEMOLITION PLAN
C3.0	PRELIMINARY SITE PLAN
C4.0	PRELIMINARY GRADING PLAN
C5.0	PRELIMINARY SITE SECTIONS
C6.0	PRELIMINARY UTILITY PLAN
C7.0	PRELIMINARY STORMWATER CONTROL PLAN
C8.0	STORMWATER CONTROL PLAN DETAILS

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	SUBDIVISION BOUNDARY
---	---	ADJOINER PROPERTY LINE
---	---	CENTERLINE
---	---	RIGHT OF WAY
---	---	EASEMENT

ABBREVIATIONS

EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
PG&E	PACIFIC GAS & ELECTRIC EASEMENT
POAE	PRIVATE DRIVEWAY ACCESS EASEMENT

LINE TABLE

NO	BEARING	LENGTH
L1	N40°19'21"W	7.51'
L2	N40°27'05"W	3.80'
L3	N49°54'28"E	16.79'
L4	N41°40'26"W	20.00'



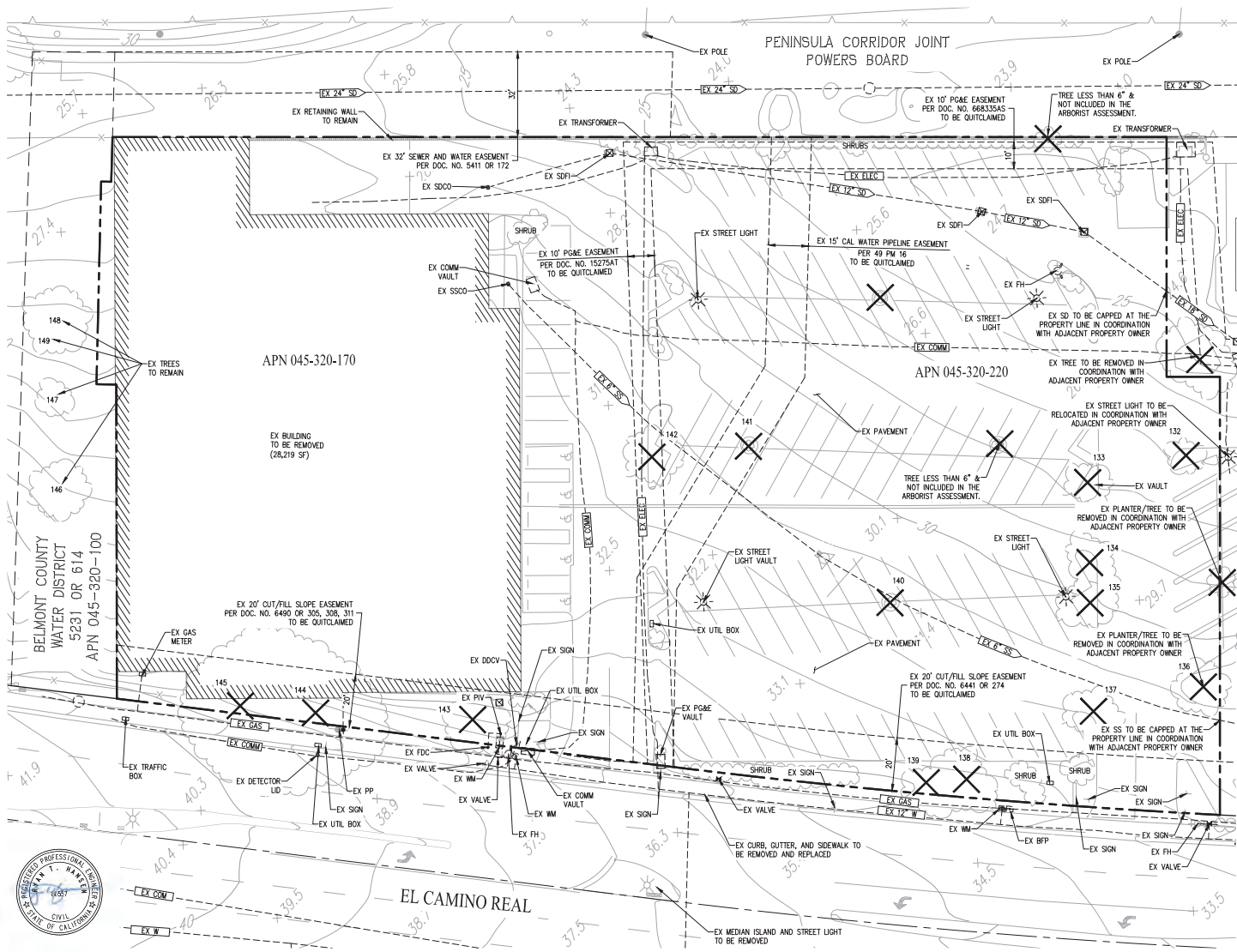
SummerHill Apartment Communities
777 S. California Ave
Palo Alto, CA 94304

11 El Camino Real
SAN CARLOS # 2021-0216

**PLANNING APPLICATION
THIRD SUBMITTAL (REVISED)**
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VESTING TENTATIVE
PARCEL MAP

C1.0



TREE NO.	DBH (IN)	SPECIES	PROTECTED TREE	PROPOSED ACTION
131	23	JAPANESE BLACK PINE	YES	REMOVE
132	10	TULIP TREE	NO	REMOVE
133	7	TULIP TREE	NO	REMOVE
134	8	EVERGREEN ASH	NO	REMOVE
135	19	EVERGREEN ASH	YES	REMOVE
136	16	MONTREY PINE	NO	REMOVE
137	16	EVERGREEN ASH	YES	REMOVE
138	20	CANARY ISLAND PINE	YES	REMOVE
139	16	CANARY ISLAND PINE	YES	REMOVE
140	8	SOUTHERN LIVE OAK	NO	REMOVE
141	6	SOUTHERN LIVE OAK	NO	REMOVE
142	8	EVERGREEN PEAR	NO	REMOVE
143	11	CHINESE PISTACHE	YES	REMOVE
144	45	RIVER RED GUM	NO	REMOVE
145	16	RIVER RED GUM	NO	REMOVE
146	28	CANARY ISLAND DATE PALM	NO	PRESERVE
147	17	MEXICAN FAN PALM	NO	PRESERVE
148	28	CANARY ISLAND DATE PALM	NO	PRESERVE
149	8	COAST LIVE OAK	NO	PRESERVE

LEGEND

- SUBDIVISION BOUNDARY
- - - ADJACENT PROPERTY LINE
- CENTERLINE
- RIGHT OF WAY EASEMENT
- EX SD EX STORM DRAIN
- EX SS EX SANITARY SEWER
- EX W EX WATER
- EX ELEC EX UNDERGROUND ELECTRIC
- EX COM EX COMMUNICATIONS LINE
- EX GAS EX GAS
- MANHOLE
- DRAIN INLET
- FIRE HYDRANT
- VALVE
- VAULT
- POWER POLE
- GUY WIRE
- ELECTROLEUR
- CURB
- TREES
- RETAINING WALL
- FENCE
- GUARDRAIL
- SMALL SIGN
- MEDIUM SIGN
- UTILITY BOX
- HORIZ. VERT. CONTROL
- HORIZONTAL CONTROL
- VERTICAL CONTROL
- BENCHMARK
- X TREE TO BE REMOVED
- 148 TREE TAG NUMBER

ABBREVIATIONS

- BFP BACK FLOW PREVENTION
- CATV CABLE TELEVISION
- DI DRAINAGE INLET
- EX EXISTING
- FDC FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SD STORM DRAIN
- SDFI STORM DRAIN FIELD INLET
- UTIL UTILITY
- WM WATER METER

AVERAGE SLOPE CALCULATION

$$S = \frac{100 \times (L) \times A}{S}$$

CONTOUR INTERVAL	1 FT
CONTOUR LENGTH	3,730 FT
SITE AREA	96,069 SF
AVERAGE SLOPE	3.9 %

- ### NOTES:
- ALL EXISTING ON-SITE UTILITIES AND IMPROVEMENTS ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
 - EXISTING UTILITY LOCATIONS ARE APPROXIMATE BASED ON RECORD INFORMATION AND FIELD SURVEY DATA. UTILITY POINT OF CONNECTIONS SHALL BE VERIFIED WITH USA MARKINGS AND POT-HOLE INFORMATION.
 - ALL EXISTING UTILITY BOXES AND VAULTS ALONG THE PROJECT FRONTAGE TO REMAIN WILL BE ADJUSTED TO GRADE WHEN APPLICABLE.
 - RELOCATION OR MODIFICATION TO ANY EXISTING FRONTAGE UTILITIES IS SUBJECT TO FINAL DESIGN (I.E. SEMER, STREET LIGHTS, FIRE HYDRANTS, VAULTS, BOXES, ETC.)
 - ALL ON-SITE SURFACE IMPROVEMENTS ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
 - ALL EXISTING WATER AND SEWER LATERALS TO THE EXISTING BUILDINGS SHALL BE CUT/CAPPED AT THE PROPERTY LINE.
 - TREE COUNT, SIZE, AND SPECIES INFORMATION PER ARBORIST REPORT PREPARED BY HORTISCIENCE BARTLETT CONSULTING DATED DECEMBER 2022, REVISED MARCH 2023.

SURVEYOR'S STATEMENT:

THIS BOUNDARY WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON FIELD SURVEY DATA. THIS DOCUMENT IS NOT A PARCEL MAP AND SHALL NOT BE SUBMITTED FOR RECORDATION.
DATE OF PLAT OR MAP: DECEMBER 20, 2022



MARK H. WEBER
REGISTERED L.S. NO. 7960

THE WORDS "CERTIFICATION" AND "CERTIFY" AS USED HEREON ARE DEFINED PURSUANT TO THE STATE OF CALIFORNIA BUSINESS AND PROFESSIONS CODE, PROFESSIONAL LAND SURVEYOR'S ACT, SECTION 8770.6.

NOTES:

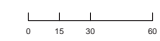
- PER PARCEL MAP 49 PM 16 THERE IS DASHED LOT LINE WITH A "SPECIAL NOTE" ASSOCIATED WITH WHAT APPEARS TO BE A PREVIOUS LOT LINE THAT WAS MERGED AT TIME OF THE 49 PM 16 RECORDATION.



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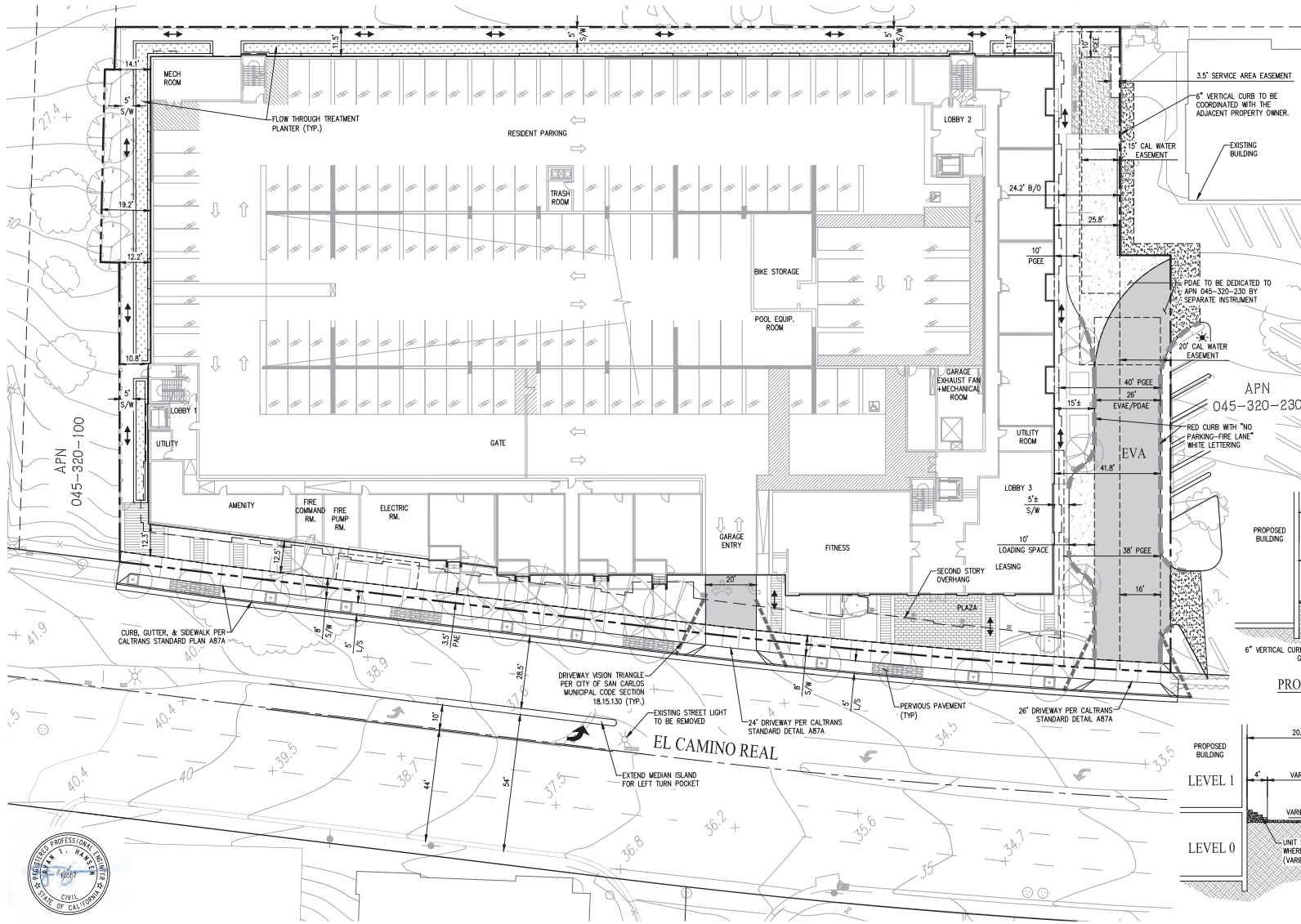
11 El Camino Real
SAN CARLOS # 2021-0216

PLANNING APPLICATION
THIRD SUBMITTAL (REVISED)
AUGUST 03, 2023



EXISTING BOUNDARY AND
DEMOLITION PLAN

C2.0



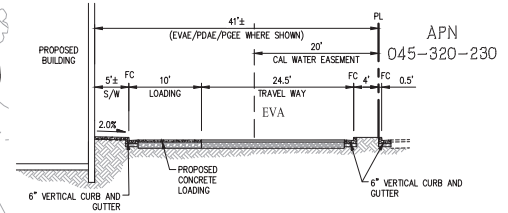
LEGEND

- SUBDIVISION BOUNDARY
- ADJACENT PROPERTY LINE
- CENTERLINE
- RIGHT OF WAY EASEMENT
- RED CURB WITH "NO PARKING-FIRE LANE" WHITE LETTERING
- PROPOSED ASPHALT PAVEMENT. (4" AC/9" AB ASSUMED)
- PROPOSED CONCRETE PAD. (PER RECYCLOGY STD)
- 2" AC GRIND & OVERLAY (LIMIT OF WORK TO BE COORDINATED WITH ADJACENT PROPERTY OWNER)
- BIO-RETENTION AREA
- LEFT TURN ONLY PAVEMENT MARKING
- ACCESSIBLE PEDESTRIAN PATH OF TRAVEL

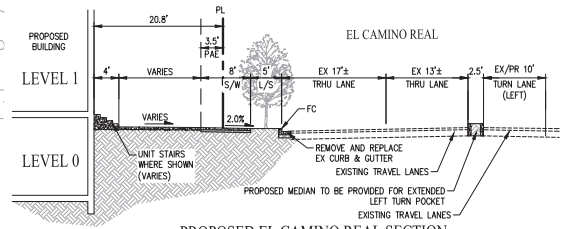
ABBREVIATIONS

- B/O BALCONY OVERHANG
- EVA EMERGENCY VEHICLE ACCESS
- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- EX EXISTING
- FC FACE OF CURB
- L/S LANDSCAPE
- PAE PUBLIC ACCESS EASEMENT
- PGEA PACIFIC GAS & ELECTRIC EASEMENT
- PDAE PRIVATE DRIVEWAY ACCESS EASEMENT
- PL PROPERTY LINE
- PR PROPOSED
- S/W SIDEWALK
- STD DTL STANDARD DETAIL
- TYP TYPICAL

- NOTES:**
- SEE LANDSCAPE PLANS FOR PROPOSED TREES (SPECIES AND SIZE).
 - SEE ARCHITECTURAL PLANS FOR TRASH AND STAGING AREAS.



PROPOSED EMERGENCY VEHICLE ACCESS SECTION
(WITH PROPOSED PROJECT)



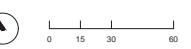
PROPOSED EL CAMINO REAL SECTION
(WITH PROPOSED PROJECT)



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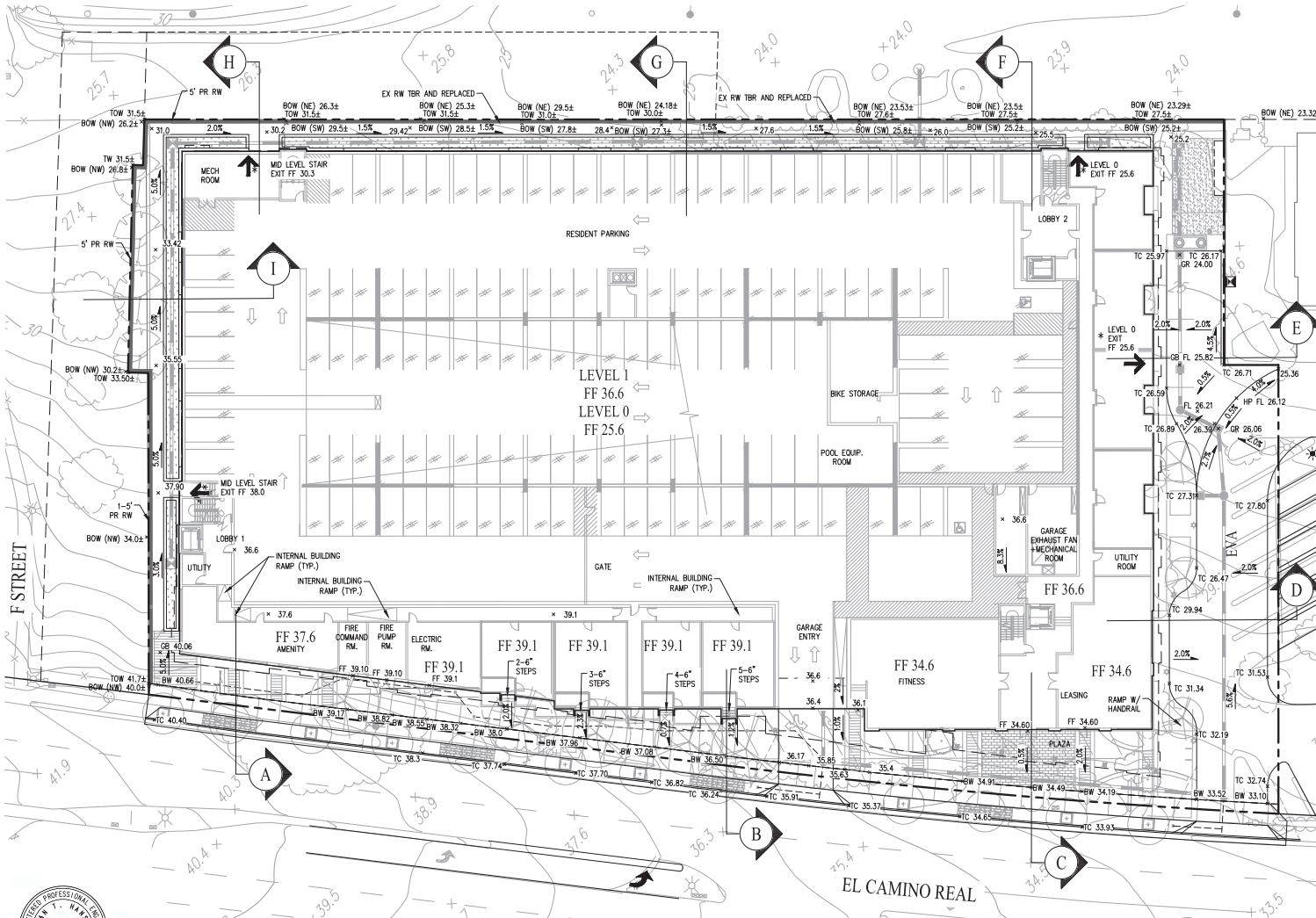
11 El Camino Real
SAN CARLOS # 2021-0216

**PLANNING APPLICATION
THIRD SUBMITTAL (REVISED)**
AUGUST 03, 2023



PRELIMINARY SITE PLAN

C3.0



LEGEND

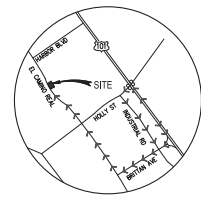
	MID LEVEL/LEVEL 0 EXIT FF		BOW	BOTTOM OF WALL
	SPOT ELEVATION		BW	BACK OF WALK
	SLOPE		EG	EXISTING GRADE
	INTERNAL BUILDING RAMP		EX	EXISTING
	PROPOSED RETAINING WALL		FF	FINISHED FLOOR
			FG	FINE GRADE
			HP	HIGH POINT
			LP	LOW POINT
			L/S	LANDSCAPE
			PAE	PUBLIC ACCESS EASEMENT
			PR	PROPOSED
			RW	RETAINING WALL
			S/W	SIDEWALK
			TC	TO BE REMOVED
			TC	TOP OF CURB
			PR	PROPOSED

ESTIMATED EARTHWORK SUMMARY⁽²⁾

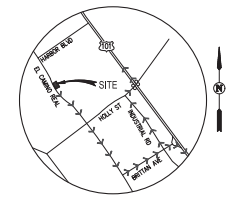
DESCRIPTION	CUT (CY)	FILL (CY)	NET (CY)
ROUGH GRADING	19,200	1,250	17,950 (C)

NOTES:

- PRELIMINARY EARTHWORK ASSUMED FOR FULL REMOVAL OF THE EXISTING PAVEMENT SECTION AND BUILDING FOUNDATION. ESTIMATED AT 6" AVERAGE ACROSS THE ENTIRE EXISTING SITE.
- ESTIMATED NUMBER OF OFFHAUL TRUCK LOADS IS EQUAL TO 1,017, ASSUMING A 15 CY TRUCK. HAUL ROUTE MAY UTILIZE BOTH THE NORTHBOUND AND SOUTHBOUND LANES ALONG EL CAMINO REAL DEPENDING ON THE CONTRACTORS DISCHARGE LOCATION. TRUCKS TRAVELING NORTHBOUND TO USE RALSTON AVENUE TO HWY 101 NORTHBOUND AND TRUCKS TRAVELING SOUTHBOUND TO USE HOLY STREET TO HWY 101 SOUTHBOUND.



TRUCK HAUL ROUTE TO SITE



TRUCK HAUL ROUTE FROM SITE

(NORTHBOUND 101) EXIT 101 OFF RAMP ONTO HOLLY ST WESTBOUND, THEN TURN LEFT ONTO INDUSTRIAL RD, THEN TURN RIGHT ON BRITANN AVE. TURN RIGHT ON EL CAMINO REAL AND CONTINUE ON EL CAMINO REAL TO THE SITE ENTRY. THE RESIDENTIAL SECTION ON HOLLY ST. FROM INDUSTRIAL RD. TO OLD COUNTY RD. SHALL BE AVOIDED.

(SOUTHBOUND 101) EXIT 101 OFF RAMP ONTO BRITANN AVE. THEN TURN RIGHT ONTO EL CAMINO REAL. CONTINUE SOUTHBOUND ALONG EL CAMINO REAL. CONTINUE SOUTHBOUND AND TAKE A LEFT TURN AT BRITANN AVE. CONTINUE TO THE 101 SOUTHBOUND ON RAMP.



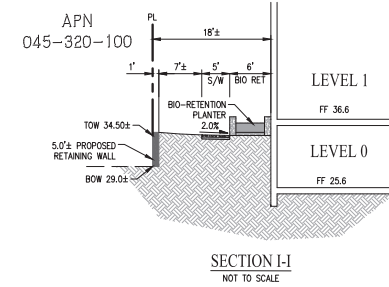
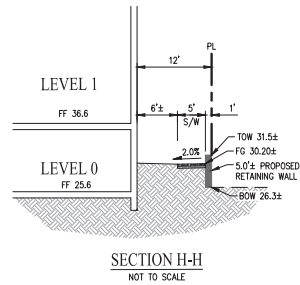
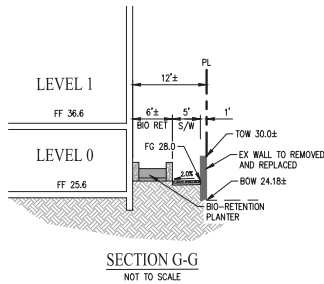
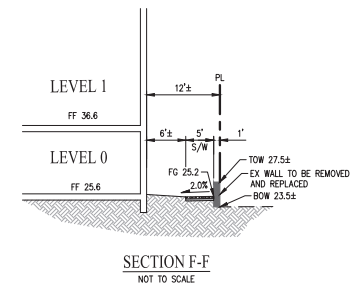
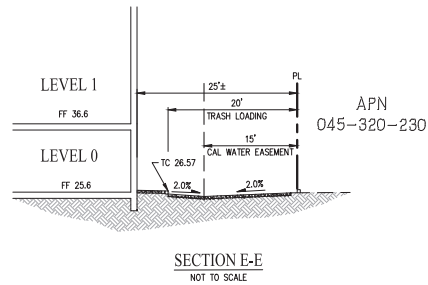
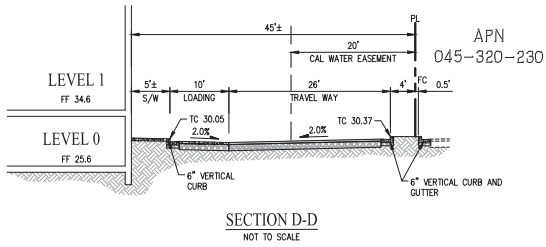
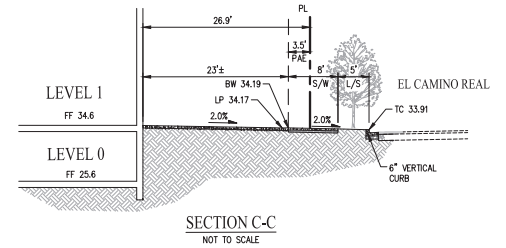
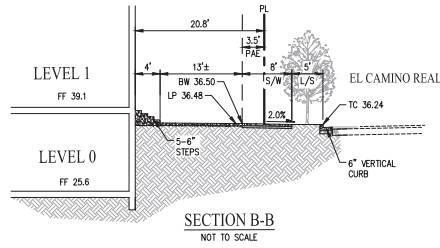
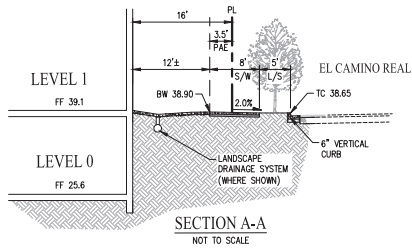
SummerHill Apartment Communities
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11 El Camino Real
SAN CARLOS # 2021-0216

PLANNING APPLICATION
THIRD SUBMITTAL (REVISED)
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PRELIMINARY
GRADING PLAN

C4.0



SummerHill Apartment Communities
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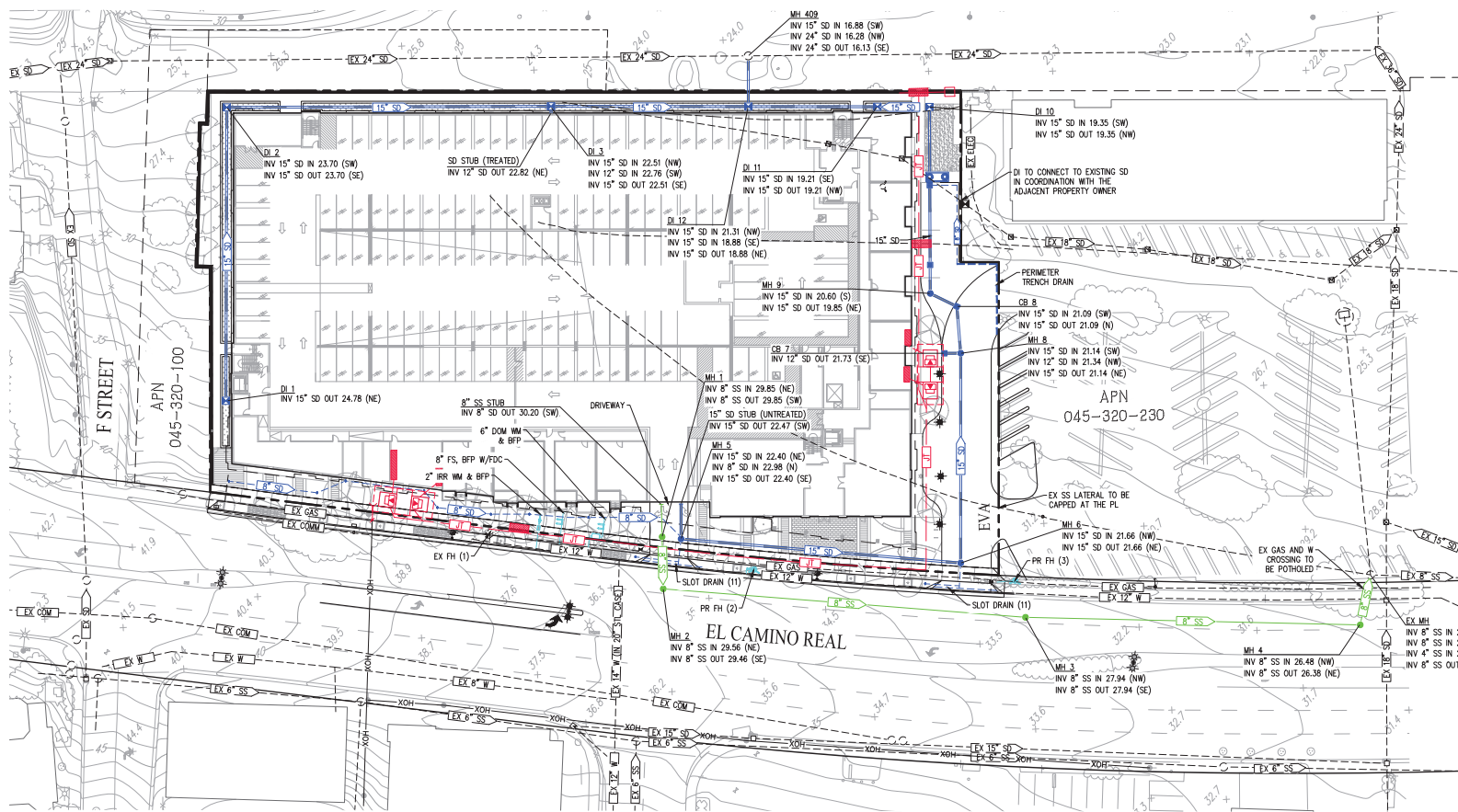
11 El Camino Real
SAN CARLOS # 2021-0216

PLANNING APPLICATION
THIRD SUBMITTAL (REVISED)
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PRELIMINARY
SITE SECTIONS

C5.0



LEGEND

- - - - - SUBDIVISION BOUNDARY
- - - - - ADJOURNER PROPERTY LINE
- CENTRELINE
- RIGHT OF WAY
- - - - - EASEMENT
- EX SD EX STORM DRAIN
- EX SS EX SANITARY SEWER
- EX W EX WATER
- EX ELEC EX UNDERGROUND ELECTRIC
- EX COM EX COMMUNICATIONS LINE
- EX GAS EX GAS
- - - - - EXISTING OVERHEAD WIRE
- EXISTING STORM DRAIN CATCH BASIN
- EXISTING MANHOLE
- EXISTING JOINT TRENCH BOX
- EXISTING FIRE HYDRANT
- 12" SD PROPOSED STORM DRAIN PIPE
- 8" SS PROPOSED SANITARY SEWER PIPE
- 6" W PROPOSED WATER PIPE
- 12" W PROPOSED FIRE HYDRANT
- STORM DRAIN AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN FIELD INLET
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED MEDIA FILTER VAULT
- - - - - PROPOSED AREA DRAINAGE LINE
- - - - - PROPOSED JT LINE (BY OTHERS)
- PROPOSED JT TRANSFORMER (BY OTHERS)
- PROPOSED JT POWER POLE (BY OTHERS)

ABBREVIATIONS

- BFP BACK FLOW PREVENTION
- CB CATCH BASIN
- DOM DOMESTIC
- DI DRAINAGE INLET
- EX EXISTING
- FDC FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- FS FIRE SERVICE
- IRR IRRIGATION
- RRR MEDIA FILTER
- MF MEDIA FILTER
- MH MANHOLE
- PR PROPOSED
- SDFI STORM DRAIN FIELD INLET
- SS SANITARY SEWER
- WM WATER METER

NOTES:

1. THE EXISTING WATER LAYOUT SHOWN IS BASED ON A WATER SYSTEM MAP PROVIDED BY CALWATER. THEREFORE, LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED BY POTHOLE OR USA PRIOR TO IMPLEMENTATION OF DESIGN SHOWN.
2. PROPOSED DOMESTIC AND FIRE SERVICE SIZES AND DETAILS SUBJECT TO FINAL DESIGN. BUILDING CONNECTION LOCATIONS AND SIZES ARE PRELIMINARY AND WILL BE COORDINATED WITH FIRE AND PLUMBING CONSULTANTS.
3. FIRE DEPARTMENT CONNECTION IS SHOWN FOR REFERENCE ONLY AND WILL BE DETAILED ON THE PROJECT'S PRIVATE IMPROVEMENT PLANS. ALL FIRE DEPARTMENT CONNECTIONS ARE SUBJECT TO FIRE DEPARTMENT REQUIREMENTS. POST INDICATOR VALVES HAVE NOT BEEN SHOWN AND MAY BE REQUIRED BY FIRE CONSULTANT.
4. PROPOSED BUILDING STORM DRAIN CONNECTIONS SUBJECT TO FINAL PLUMBING DESIGN.
5. STREET LIGHTING ALONG EL CAMINO REAL IS SUBJECT TO FINAL DESIGN.
6. ALL WATER SERVICE INSTALLATIONS SHALL COMPLY WITH CALWATER STANDARDS.
7. ALL JOINT TRENCH SERVICES ARE SHOWN FOR REFERENCE ONLY. REFER TO JOINT TRENCH INTENT BY GALCALONE DESIGN SERVICES FOR MORE INFORMATION.
8. INTERNAL TRENCH DRAINS ACROSS GARAGE APPROACHES SHALL CONNECT TO AN OIL SEPARATOR OF MINIMUM SIZE 750 GALLONS. THE OIL SEPARATOR IS TO BE LOCATED AND INSTALLED PER THE PROJECT MEP.
9. POTENTIAL DETAINING WALL SUBDRAIN IS DEPENDENT ON RECOMMENDATIONS AND DESIGN BY THE PROJECT GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER.
10. PROPOSED WATER MAIN ASSUMES 48" OF CLEARANCE FROM OTHER UTILITIES AND OBSTRUCTIONS, SUBJECT TO CALWATER DESIGN.
11. SLOT DRAINS SHALL COLLECT DRIVEWAY AND SIDEWALK RUNOFF AND WILL BE DIRECTED TO ONSITE DRAINAGE FACILITIES.

UNDEVELOPED PEAK STORM DRAIN FLOW:

DRAINAGE AREA (A): 2.2 AC
 TIME OF CONCENTRATION (TC): TC (INITIAL) + TC (PIPE) = 10 MIN + 2.08 MIN = 12.08 = USE 12 MIN TO BE CONSERVATIVE
 TC (INITIAL): 10 MIN. PER SAN MATEO COUNTY DRAINAGE MANUAL (SMCDM)
 PIPE (TC): ASSUME AVERAGE PIPE VELOCITY OF 2 FT/S
 = (250 FT/2 FT/SEC)/(60 SEC/MIN) = 2.08 MIN
 INTENSITY (I) 10-YEAR DESIGN STORM (TC = 12 MIN): 2.03 IN/HR
 RUNOFF COEFFICIENT (C): IMPERVIOUS AREA C=0.90
 PERVIOUS AREA C=0.30
 WEIGHTED RUNOFF COEFFICIENT = (2.04AC X 0.90 + 0.16AC X 0.30)/2.2AC = 0.86
 UNDEVELOPED PEAK FLOW (Q=CIA): Q = 0.86 X 2.03 IN/HR X 2.2 AC = **3.84 CFS**

DEVELOPED PEAK STORM DRAIN FLOW:

DRAINAGE AREA (A): 2.2 AC
 TIME OF CONCENTRATION (TC): TC (INITIAL) + TC (PIPE) = 10 MIN + 5.37 MIN = 15.37 = USE 15 MIN TO BE CONSERVATIVE
 TC (INITIAL): 10 MIN. PER SAN MATEO COUNTY DRAINAGE MANUAL (SMCDM)
 PIPE (TC): ASSUME AVERAGE PIPE VELOCITY OF 2 FT/S
 = (644 FT/2 FT/SEC)/(60 SEC/MIN) = 5.37 MIN
 INTENSITY (I) 10-YEAR DESIGN STORM (TC = 15 MIN): 1.78 IN/HR
 RUNOFF COEFFICIENT (C): IMPERVIOUS AREA C=0.90
 PERVIOUS AREA C=0.30
 WEIGHTED RUNOFF COEFFICIENT = (1.96AC X 0.90 + 0.24AC X 0.30)/2.2AC = 0.83
 UNDEVELOPED PEAK FLOW (Q=CIA): Q = 0.83 X 1.78 IN/HR X 2.2 AC = **3.25 CFS**
 PRE-/POST PROJECT FLOW REDUCTION: 3.84 CFS - 3.25 CFS = **0.59 CFS** (REDUCTION OF FLOW OVER EXISTING CONDITIONS)

HYDRAULIC ANALYSIS NOTES:

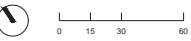
- 1) UNDEVELOPED AND DEVELOPED HYDRAULIC ANALYSIS CONSIDERED AT THE PROJECTS POINT OF CONNECTION INTO THE EXISTING SYSTEM IN BOTH THE PRE-PROJECT AND POST-PROJECT SCENARIO.
- 2) THE LAG TIME FROM THE FLOW THROUGH PLANTERS HAS BEEN NEGLECTED IN THE DEVELOPED HYDRAULICS ANALYSIS FOR A CONSERVATIVE ANALYSIS AND WOULD RESULT IN AN EVEN LOWER POST PROJECT FLOW CONDITION DUE TO THE EXTENDED TIME OF CONCENTRATION.



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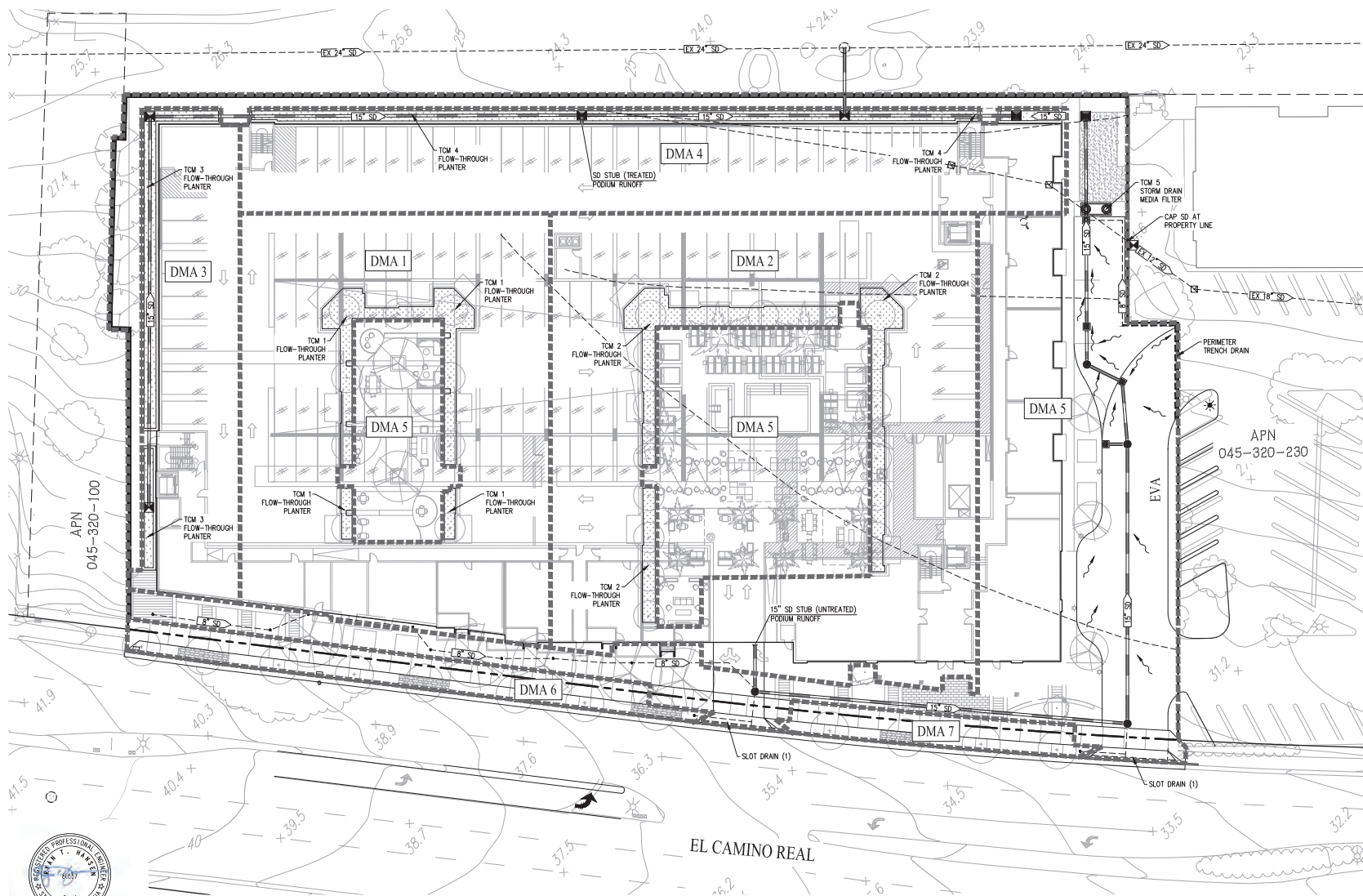
11 El Camino Real
 SAN CARLOS # 2021-0216

PLANNING APPLICATION
 THIRD SUBMITTAL (REVISED)
 AUGUST 03, 2023



PRELIMINARY
 UTILITY PLAN

C6.0



LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- PROPOSED CURB CUT
- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED FIELD INLET
- PROPOSED MEDIA FILTER VAULT
- DIRECTION OF FLOW
- FLOW THROUGH TREATMENT PLANTER
- DRAINAGE MANAGEMENT AREA BOUNDARY
- DRAINAGE MANAGEMENT AREA DESIGNATION
- BR
- EVA
- SD
- TCM

NOTE:

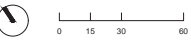
1. SLOT DRAINS SHALL COLLECT DRIVEWAY AND SIDEWALK RUNOFF AND WILL BE DIRECTED TO ONSITE DRAINAGE FACILITIES.



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PRELIMINARY
 STORMWATER
 CONTROL PLAN

C7.0

TREATMENT CONTROL MEASURE CALCULATION SUMMARY TABLE

DMA AREA	TCM #	TREATMENT TYPE	DMA AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	SIZING METHOD	COMPOSITE C VALUE (C)	INTENSITY (I) (IN/HR)	MINIMUM REQUIRED TREATMENT FLOW (C x I x A) (CFS)	SELF RETAINING IMPERVIOUS TO PERVIOUS RATIO (2:1 MAX)	REQUIRED BIO-RETENTION AREA (SF)	PROVIDED BIO-RETENTION AREA (SF)
1	1	FLOW-THROUGH PLANTER	16,758	16,758	0	16,758	4%	N/A	N/A	N/A	N/A	670	670
2	2	FLOW-THROUGH PLANTER	21,395	21,395	0	21,395	4%	N/A	N/A	N/A	N/A	856	856
3	3	FLOW-THROUGH PLANTER	7,225	6,329	896	6,419	4%	N/A	N/A	N/A	N/A	257	257
4	4	FLOW-THROUGH PLANTER	13,621	12,259	1362	12,395	4%	N/A	N/A	N/A	N/A	496	496
5	5	MEDIA FILTER	35,557	28,554	7003	29,254	FLOW	N/A	N/A	N/A	N/A	1170	1170
6	6	SELF RETAINING AREA	2702	1778	924	1,870	2:1	N/A	N/A	N/A	1.92	N/A	N/A
7	7	SELF RETAINING AREA	1455	966	489	1,015	2:1	N/A	N/A	N/A	1.98	N/A	N/A
TOTAL			98,713	88,039	10,674	89,106	-					3,449	3,449

MEDIA FILTER CALCULATION SUMMARY TABLE

(MEDIA FILTER OVERSIZED TO ACCOUNT FOR MIXING TREATED AND UNTREATED RUNOFF)

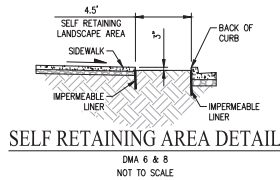
DMA AREA	TCM #	TREATMENT TYPE	DMA AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (A) (SF)	SIZING METHOD	COMPOSITE C VALUE (C)	INTENSITY (I) (IN/HR)	REQUIRED TREATMENT FLOW (C x I x A) (CFS)
5	5	MEDIA FILTER	35,557	28,554	7,003	29,254	FLOW	0.72	0.2	0.0967
TOTAL			35,557	28,554	7,003	29,254	-			

COMPOSITE RUNOFF COEFFICIENT CALCULATION

DMA AREA	TCM ID	AREA TYPE	AREA (SF)	RUNOFF COEFFICIENT (C)	C x A
5	5	IMPERVIOUS	28554	0.9	25699
		PERVIOUS	8094	0.1	809
		COMPOSITE C VALUE		0.72	

MEDIA FILTER CARTRIDGE REQUIREMENT (OLDCASTLE PERK FILTER)

DMA AREA	TCM #	REQUIRED TREATMENT FLOW	STAKED CARTRIDGE TREATMENT FLOW RATE PER CARTRIDGE (18")	REQUIRED NUMBER OF CARTRIDGES
5	5	0.0967	0.023	5



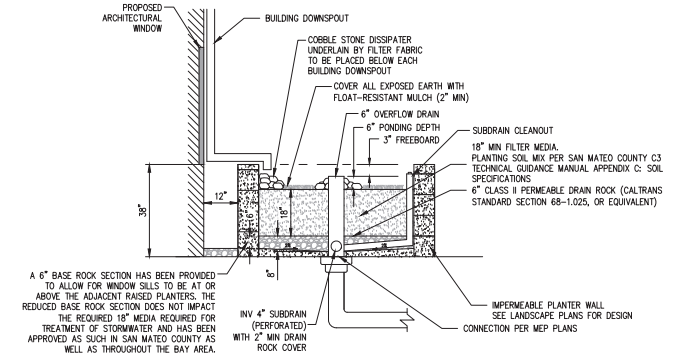
CATEGORY C SPECIAL PROJECT SUMMARY

PROJECT CRITERIA	APPLICABLE CRITERIA	ALLOWABLE CREDIT	APPLIED CREDIT
LOCATION CREDIT	100% WITHIN THE RAILROAD CORRIDOR PLANNED PDA	25%	3.2%
DENSITY CREDIT	110 DU/AC PROPOSED > 100 DU/AC	30%	30%
PARKING CREDIT	NO AT GRADE PARKING IS PROPOSED	20%	0%
TOTAL	-	75%	33.2%

NOTES:
 TOTAL SITE EFFECTIVE IMPERVIOUS AREA (INCLUDES OFFSITE AREAS): 91,056 SF
 MIN. 25% REQUIRED FOR LID TREATMENT: 22,764 SF
 PROVIDED EFFECTIVE LID TREATMENT AREAS: 60,798 SF (66.8%)

NOTES:

- THE BIO-RETENTION AREAS HAVE BEEN SIZED USING THE 4% AND COMBINATION FLOW AND VOLUME SIZING METHOD PER THE SAN MATEO COUNTY C.3 GUIDANCE MANUAL.
- MEDIA FILTER VAULT STRUCTURE TO BE WASHINGTON STATE G.U.I.D. AND T.A.P.E. CERTIFIED.
- THIS PROJECT MEETS THE CRITERIA FOR CATEGORY C SPECIAL PROJECTS CREDIT, AS OUTLINED IN APPENDIX J OF THE SMOVPPP C.3 STORMWATER TECHNICAL GUIDANCE MANUAL FOR PROJECTS LOCATED 100% WITHIN A PLANNED PRIORITY DEVELOPMENT AREA. PER THE ASSOCIATION OF BAY AREA GOVERNMENTS THE SITE IS LOCATED 100% WITHIN THE RAILROAD CORRIDOR PLANNED DEVELOPMENT AREA. BASED ON THE SATISFIED CRITERIA, 75% OF THE EFFECTIVE IMPERVIOUS AREA (EIA) ON THIS SITE MAY BE TREATED BY NON-LID MEASURES. THIS PROJECT PROPOSES TO TREAT 33.2% OF THE EIA WITH A MEDIA-FILTER. SEE THE TABLE ON THIS SHEET FOR A SUMMARY OF SPECIAL CREDITS.
- PER THE SMOVPPP C.3 STORMWATER TECHNICAL GUIDANCE MANUAL MAP INDEX FOR HM CONTROL AREAS THE PROJECT IS LOCATED WITHIN A HYDROMODIFICATION EXEMPT AREA.
- ALL STORMWATER QUALITY SIZING IS PRELIMINARY AND IS SUBJECT TO CHANGE WITH THE FINAL BUILDING PERMITS AS THE DESIGN IS SUBJECT TO THE BUILDING FINAL PLUMBING AND ARCHITECTURAL DESIGN.



RAISED PLANTER BIO DETAIL

NOT TO SCALE



SummerHill Apartment Communities
 777 S. California Ave
 Palo Alto, CA 94304

11 El Camino Real
 SAN CARLOS # 2021-0216

PLANNING APPLICATION
 THIRD SUBMITTAL (REVISED)
 AUGUST 03, 2023

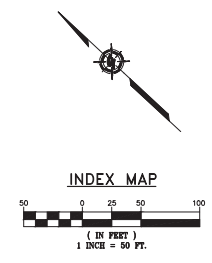
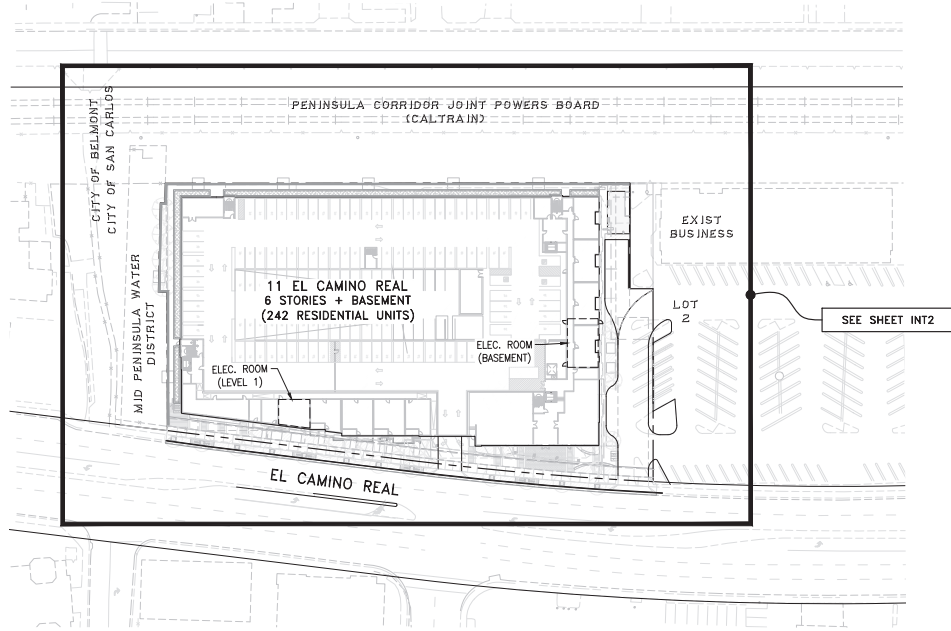
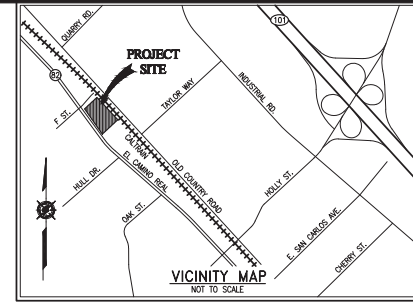


STORMWATER
 CONTROL PLAN
 DETAILS

C8.0

SUMMERHILL APARTMENT COMMUNITIES 11 EL CAMINO REAL - CONSULT SAN CARLOS, CALIFORNIA

(JOINT TRENCH INTENT - NOT FOR CONSTRUCTION)



NOTE
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

NOTE TO UTILITIES:
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

REVISIONS	DESCRIPTION	DATE	APPROVED

GIACALONE
DESIGN SERVICES, INC.
2020 STANFORD WALK, SUITE 200 | PALMDALE, CA 94388
909.441.1111

JOINT TRENCH INTENT TITLE SHEET
SUMMERHILL APARTMENT COMMUNITIES
11 EL CAMINO REAL
SAN CARLOS CALIFORNIA

PROJECT MANAGER:
A. CUMMINGS
DRAWN BY:
SO/CC
CHECKED BY:
AC
SCALE:
1"=50'
JOB NUMBER:
23-088 (21-110)
DATE LAST MODIFIED:
05-17-23
SHEET
INT1
OF 2 SHEETS

PROJECT TEAM CONTACTS		
COMPANY:	CONTACT:	PHONE:
SUMMERHILL APARTMENT COMMUNITIES	RICHARD NORRIS	650-842-2411
CARLSON, BARBEE & GIBSON	RYAN HANSEN, P.E.	925-866-0322
JETT LANDSCAPE ARCHITECTURE	WHITNEY MILLER, RIA	559-730-6391
KITBY ARCHITECTURE	LILY CIAMMACHIELLA, AIA	510-463-2045
CABLECOM - SAN CARLOS	TIM WILSON	650-468-6115
ATA&T - SAN CARLOS	DAVE CLARK	408-635-8824
GIACALONE DESIGN SERVICES, INC.	ANDREW CUMMINGS	925-467-1740

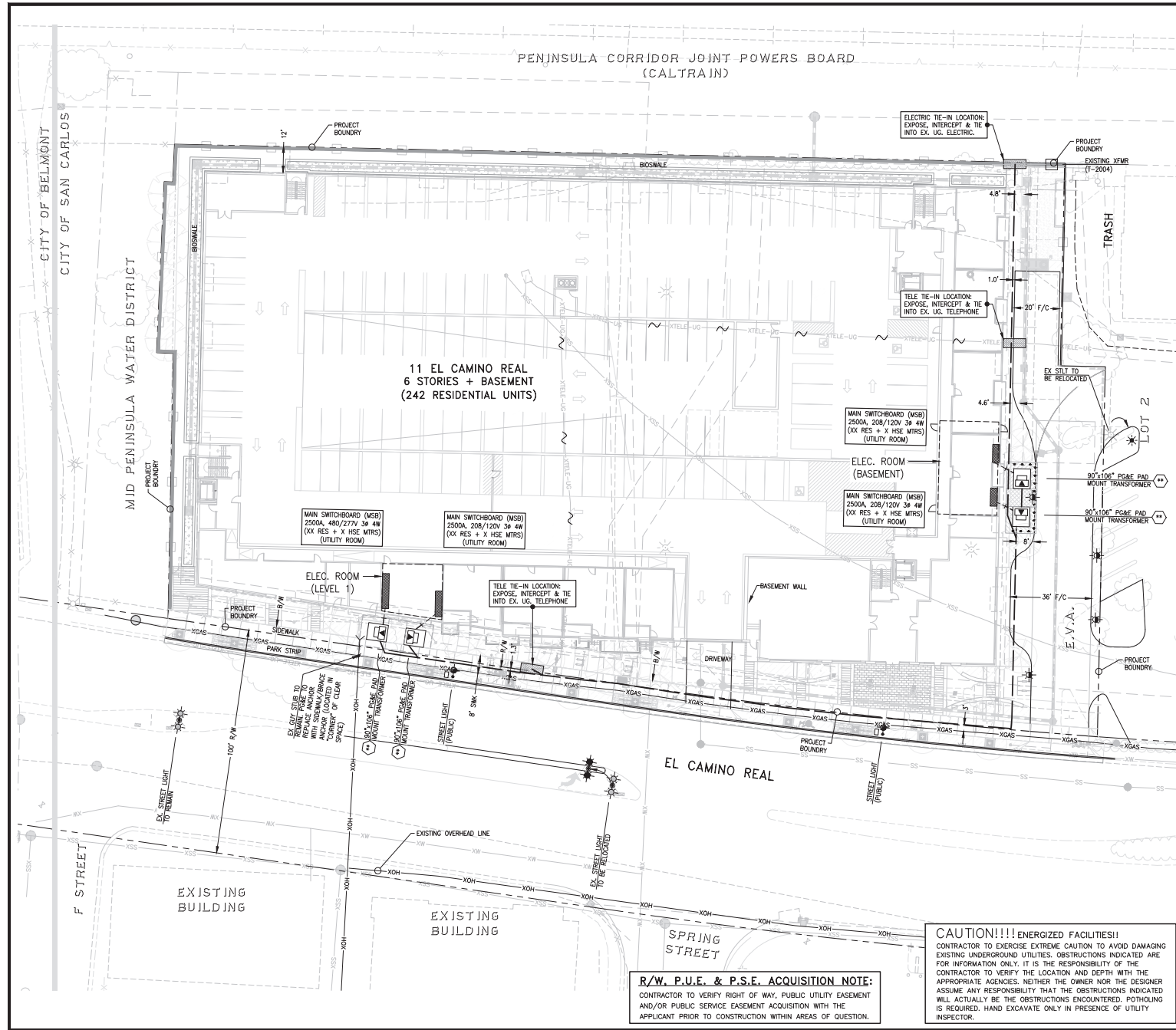
PG&E PM NO.
RULE 15:
RULE 16:
RULE 20:
RELOC:
GAS:
RULE 15:
RELOC:

LATEST FILES RECEIVED				
DESCRIPTION:	BY:	DATE:	STATUS:	
GAS DESIGN				
ELECTRIC DESIGN				
TELEPHONE LAYOUT				
CATY LAYOUT				
STREET LIGHT PLANS - PUBLIC				
STREET LIGHT PLANS - PRIVATE				
IMPROVEMENT PLANS (ELECTRONIC FILE)	CBC	03-03-23		

A=Approved • ANS=Approved Not Signed • NA=Not Approved • F=First Submittal • SS=Second Submittal

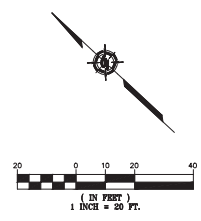
PROJECT DESCRIPTION & SCOPE
<ul style="list-style-type: none"> • NEW SERVICE TO 6 STORY BLDG. W/ 242 RESIDENTIAL UNITS (1 @ 2500A, 480/277V & 3 @ 2500A, 208/120V) • • • • •

SHEET INDEX	
SHEET	DESCRIPTION
INT1	JOINT TRENCH INTENT TITLE SHEET
INT2	JOINT TRENCH INTENT
PrSL1	PRIVATE STREET LIGHTING TITLE SHEET
PrSL2	PRIVATE STREET LIGHTING SITE PLAN
PuSL1	PUBLIC STREET LIGHTING TITLE SHEET
PuSL2	PUBLIC STREET LIGHTING SITE PLAN
PM	PHOTOMETRIC STUDY



LEGEND

	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT TRENCH
	EXISTING UTILITY SPICE BOX
	90"x108" PG&E PAD MOUNT TRANSFORMER
	PROPOSED POST TOP STREET LIGHT
	PROPOSED STREET LIGHT
	EXISTING STREET LIGHT
	PG&E SKETCH LOCATION NUMBER
	FULL VEHICULAR TRAFFIC LID
	(N.T.S.)
	(U.O.N.)



NOTE
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

NOTE TO UTILITIES:
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

PRELIMINARY PLANS NOT FOR CONSTRUCTION

TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811
CALL BEFORE YOU DIG

R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

CAUTION!!!! ENERGIZED FACILITIES!
CONTRACTOR TO EXERCISE EXTREME CAUTION TO AVOID DAMAGING EXISTING UNDERGROUND UTILITIES. OBSTRUCTIONS INDICATED ARE FOR INFORMATION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER NOR THE DESIGNER ASSUME ANY RESPONSIBILITY THAT THE OBSTRUCTIONS INDICATED WILL ACTUALLY BE THE OBSTRUCTIONS ENCOUNTERED. POT-HOLING IS REQUIRED. HAND EXCAVATE ONLY IN PRESENCE OF UTILITY INSPECTOR.

APPROVED:	
REVISIONS:	
SYMBOL:	DATE:
 GICALONE DESIGN SERVICES, INC. <small>5000 STATE ST. SUITE 100, SAN CARLOS, CALIFORNIA 94068 925.255.1111</small>	
JOINT TRENCH INTENT SUMMERHILL APARTMENT COMMUNITIES 11 EL CAMINO REAL SAN CARLOS CALIFORNIA	
PROJECT MANAGER:	A. CLARKINS
DRAWN BY:	SO/CC
CHECKED BY:	AC
SCALE:	1" = 20'
JOB NUMBER:	23-038 (21-110)
DATE LAST MODIFIED:	05-17-23
SHEET	INT2
OF	2 SHEETS

11 EL CAMINO REAL - PRIVATE STREET LIGHTING

Aluminum pole - Round fixed tapered

Application:
This pole is designed for use with standard lighting fixtures and is not intended for use with specialty lighting fixtures. Consult a lighting designer for more information. This pole is not intended for use with specialty lighting fixtures. This pole is not intended for use with specialty lighting fixtures.

Material & Specifications:
Aluminum pole - Round fixed tapered
Aluminum pole - Round fixed tapered
Aluminum pole - Round fixed tapered

Dimensions:
Height: 12'-0" (3.05 m)
Diameter: 4.0" (101.6 mm)

LED pole top luminaires with asymmetrical wide beam light distribution

Application:
This luminaire is designed for use with standard lighting fixtures and is not intended for use with specialty lighting fixtures. Consult a lighting designer for more information. This luminaire is not intended for use with specialty lighting fixtures. This luminaire is not intended for use with specialty lighting fixtures.

Material & Specifications:
LED pole top luminaire with asymmetrical wide beam light distribution
LED pole top luminaire with asymmetrical wide beam light distribution

Dimensions:
Height: 12'-0" (3.05 m)
Diameter: 4.0" (101.6 mm)

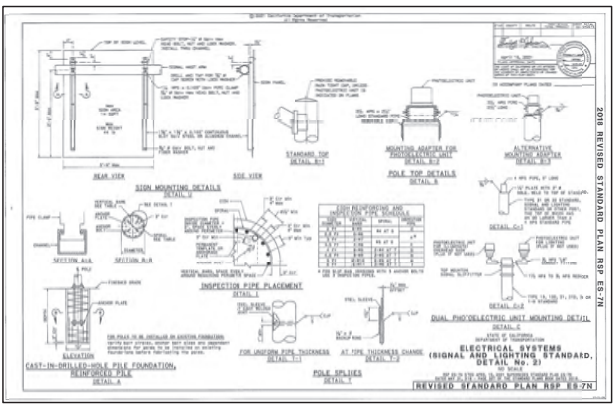
Accessories:
This luminaire is designed for use with standard lighting fixtures and is not intended for use with specialty lighting fixtures. Consult a lighting designer for more information. This luminaire is not intended for use with specialty lighting fixtures. This luminaire is not intended for use with specialty lighting fixtures.

Material & Specifications:
Accessories for LED pole top luminaire with asymmetrical wide beam light distribution
Accessories for LED pole top luminaire with asymmetrical wide beam light distribution

Dimensions:
Height: 12'-0" (3.05 m)
Diameter: 4.0" (101.6 mm)

- PRIVATE LIGHTING CONTRACTORS NOTES**
- CONDUIT AND FITTINGS: ALL CONDUIT AND FITTINGS SHALL BE U.L. APPROVED, UNLESS OTHERWISE NOTED OR REQUIRED. PROVIDE PULL ROPE IN ALL EMPTY CONDUITS.
 - CONDUIT DEPTHS: 24" UNDER SIDEWALK; 24" UNDER PLANTER STRIP; 36" UNDER PAVEMENT.
 - CABLE SHALL BE U.L. LISTED, TYPE THW OR THWN WITH MINIMUM OF 3/64" (46 MIL) POLYIMIDE CHLORIDE INSULATION, UNLESS OTHERWISE NOTED. U.L. LISTED 600 VOLTS, NO. 10 IN POLE MAY BE USED.
 - SPLICE BOXES: SPLICE BOXES SHALL NOT BE MORE THAN 200 FEET APART ON LONG RUNS. (PER CALTRANS DETAIL ES-8A).
 - FUSES: EACH STREET LIGHT SHALL BE FUSED WITH WATERPROOF IN-LINE FUSE HOLDERS (BUSHMAN HER SERIES) AT EACH ADJACENT SPLICE BOX WITH 5 AMP FUSE.
 - SPlicing: ALL SPLICES SHALL BE MADE IN LIGHT BOXES ONLY. SPLICES SHALL BE IN ACCORDANCE WITH CALTRANS STANDARD METHOD 'S'. (PER CALTRANS DETAIL ES-13A).

- PRIVATE LIGHTING GENERAL NOTES**
- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FIRE MARSHALL, FEDERAL AND ALL APPLICABLE CITY, COUNTY, STATE AND LOCAL UTILITY COMPANY REGULATIONS, N.E.C., AND THE LATEST APPROVED STANDARDS OF I.E.E.E., A.S.A., N.E.M.A., U.L. AND OSHA WHERE APPLICABLE. NOTHING IN THESE PLANS OR SPECIFICATIONS IS TO BE CONSIDERED TO PERMIT WORK NOT CONFORMING TO THE ABOVE. ALSO, ALL SECTIONS OF STATE OF CALIFORNIA P.U.C. C.O. 95 SHALL APPLY.
 - MATERIALS FINISHED UNDER THIS SECTION OF THESE SPECIFICATIONS FOR WHICH U.L. STANDARDS HAVE BEEN ESTABLISHED SHALL BE LISTED AND BEAR THE LABEL OF UNDERWRITERS LABORATORIES, INC.
 - WHERE REQUIREMENTS OF APPLICABLE CODES AND STANDARDS CONFLICT WITH THE DRAWINGS OR THESE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
 - THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING & OBTAINING APPROVAL FROM CITY/COUNTY AGENCY & GACALONE DESIGN SERVICES, INC.
 - CONTRACTOR TO INSTALL COMPLETE GROUNDING AND GROUND WIRE IN CONDUIT PER N.E.C. STANDARDS AND LOCAL GOVERNING AGENCIES REQUIREMENTS.
 - A LIST OF ALL MATERIALS & SUPPLIERS SHOULD BE PROVIDED TO AUTHORITY HAVING JURISDICTION FOR APPROVAL.
 - GROUNDING & BONDING SHALL PROPERLY INTERCONNECT ALL METAL PARTS OF THE SYSTEM.
 - ALL CONNECTIONS SHALL BE SECURED WITH LOCK NUTS AND INSULATED BUSHINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A COMPLETE OPERATING SYSTEM.
 - GACALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. CONTRACTOR SHOULD REVIEW PROJECT SITE PRIOR TO SUBMITTING ITS BID.
 - ANY CHANGES OR MODIFICATIONS TO PROPOSED LIGHT LOCATIONS SHALL BE APPROVED, IN WRITING, BY THE CITY/COUNTY AGENCY PRIOR TO INSTALLATION.
 - AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE STREET LIGHT ADMINISTRATION DEPT. OF THE CITY/COUNTY PRIOR TO ACCEPTANCE OF THE PRIVATE LIGHTING SYSTEM.



**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

PUBLIC/PRIVATE LIGHTING: PRIVATE
P&E RATE SCHEDULE: BLDG. PANEL
INSTALL IN JOINT TRENCH:
INSTALL IN SEPARATE TRENCH:
CITY PERMIT REQUIRED:

NOTE:
GACALONE CONTRACTOR/GENERAL NOTES ARE A REFERENCE ONLY. THE LATEST CITY OF SAN CARLOS STANDARD DETAILS SUPERCEDE ALL OTHER NOTES OR DETAILS.

***NOTE: CONTRACTOR TO VERIFY ALL QUANTITIES AND SPECIFICATIONS PRIOR TO ORDERING.**

LUMINAIRE SCHEDULE									
TYPE	LUMINAIRE	DIST.	MTG. HT.	ARM	POLE HT.	COLOR	MATERIAL	QUANTITY	
☼	DECORATIVE STREET LIGHT	12W, LED, 120V	-	12'-0"	-	12'-0"	T.B.D.	ALUMINUM	4

LIGHTING CONTROL METHOD

PHOTOCELL IN EACH LIGHT FIXTURE
 METER PEDESTAL INTERNAL PHOTOCELL
 METER PEDESTAL TIME CLOCK
 BUILDING CONTROL PANEL

CAUTION:
CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION. FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".



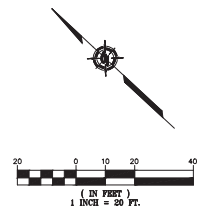
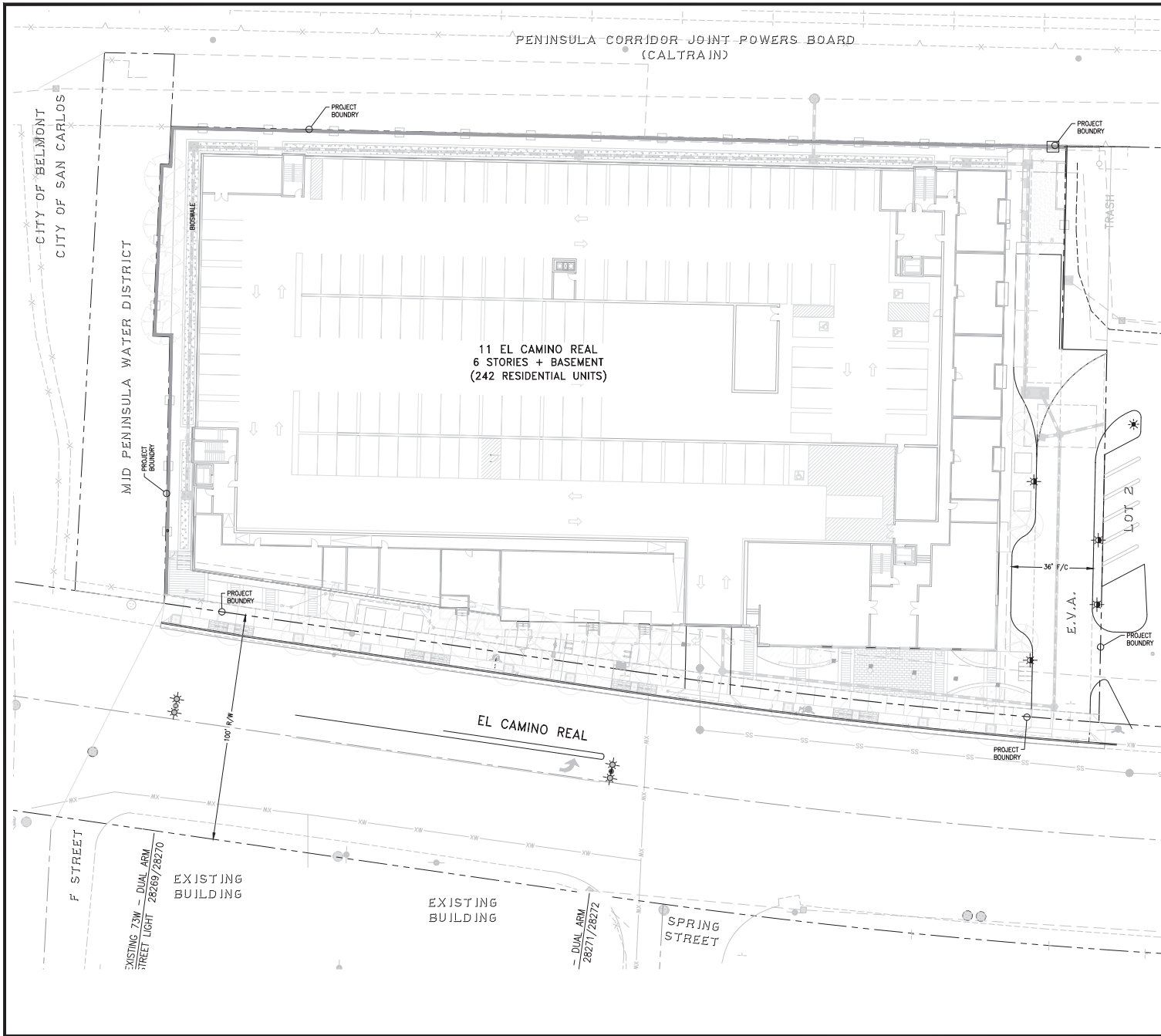
REVISIONS

NO.	DESCRIPTION	DATE

PROJECT MANAGER:
ANDREW CUMMINS
DRAWN BY:
ANDREW CUMMINS
SCALE:
NOT TO SCALE
JOB NUMBER:
23-028 (21-110)
DATE LAST MODIFIED:
05-17-23
SHEET
PrSL1
OF 2 SHEETS

PRIVATE STREET LIGHTING TITLE SHEET
SUMMERHILL APARTMENT COMMUNITIES
11 EL CAMINO REAL
SAN CARLOS CALIFORNIA

GACALONE DESIGN SERVICES, INC.
2020 STATE ST. SUITE 100, FOLSOM, CA 95630
916.451.0000



LEGEND

- ✱ PROPOSED PVT DECORATIVE STREET LIGHT (120)
- STREET LIGHT BOX (STATE TYPE 3 1/2)
- ⊙ EXISTING STREET LIGHT
- ⚡ FIRE HYDRANT (BY OTHERS)

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

CAUTION:
CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION. FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".

TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811
CALL BEFORE YOU DIG



REVISIONS	DESCRIPTION	DATE	APPROVED

GIACALONE
DESIGN SERVICES, INC.
2020 STRANDBERG HALL, SUITE 200, PALMDALE, CA 94308
805.474.1100

PRIVATE STREET LIGHTING SITE PLAN
SUMMERHILL APARTMENT COMMUNITIES
11 EL CAMINO REAL
SAN CARLOS CALIFORNIA

PROJECT MANAGER:
ANDREW CUMMINS
DRAWN BY:
CCP
CHECKED BY:
ANDREW CUMMINS
SCALE:
1"=20'
JOB NUMBER:
23-038 (21-110)
DATE LAST MODIFIED:
05-17-23
SHEET
PrSL2
OF 2 SHEETS

11 EL CAMINO REAL - PUBLIC STREET LIGHTING

11 El Camino Real, San Carlos (Lumec Domus 54W 1900lm 4000K Type 3 sag glass distribution, on LM bracket and 18' AMUJL pole, black finish)

City 2 Luminaire DMS50-S5W4LED4K-03-LES3-LUV-DMG-BKTX

Description of Components:

Head: A die cast A360 aluminum dome complete with a cast technical ring with latch and hinge. The mechanism shall offer tool-free access to the inside of the luminaire. An embossed memory-retentive gasket shall ensure weatherproofing.

Mounting: In a round shape, this housing is made of cast 356 aluminum, of a sawtooth grommet, mechanically assembled to the bracket with four bolts 3/8-16 UNC. This suspension system permits for a full rotation of the luminaire in 90 degree increments.

Light Engine: LEDtype composed of 5 main components: Heat Sink / Lens / LED Module / Optical System / Driver. Electrical components are factory connected.

Heat Sink: Heat Sink: Made of diecast A360 aluminum optimizing the LEDs efficiency and life, complete with a cast in die technical ring. Product does not use any cooling device with moving parts (only passive cooling device)

Lens: Made of soda-lime clear tempered glass curved lens, mechanically assembled and sealed onto the lower part of the heat sink.

LED Module: Composed of 48 high-performance white LEDs. Color temperature as per ANSI/IESNA Bin Neutral White, $+000$ Kelvin nominal (3600K $\pm 274K</math> or 3710K $\pm 4260K</math>, CRI 70 Min 75 Typical)$$

Optical System: (LE33), IES type III (asymmetrical). Composed of high-performance optical grade PMMA acrylic refractor lenses to achieve desired distribution optimized to get maximum spacing, target lumens and a superior lighting uniformity. Optical system is rated IP66. Performance shall be tested per LM-63 LM-79 and TM-15 (IESNA) certifying its photometric

DMS50-S5W4LED4K-03-LES3-LUV-DMG LM-1A-R4-RC AMUJL-18 BTKX
01-29-2023 Page 1 of 6

LUMEC

11 El Camino Real, San Carlos (Lumec Domus 54W 1900lm 4000K Type 3 sag glass distribution, on LM bracket and 18' AMUJL pole, black finish)

City 2 Pole AMUJL-18-BTKX

Description of Components:

Arm: Shall be made from best 6061-T6 aluminum tubing, 3.30\" (80mm) outside diameter, weldless.

Central Adapter: Made of aluminum 6061-T6, 1\" (25mm) outside diameter. Complete with a cast 356 aluminum floor that slips fits 9\" (229mm) over a 4\" (102mm) outside diameter pole tube. Mechanically assembled using two sets of four set screws at 90 degrees around the bracket.

Bracket Options: (RC) Rectangular for ball lock type photometer, accepts up to 480 volt. (Call not included)

Bracket Properties (Weight and IPA): 24 lbs (10.9 kg), 2.41 IP*

DMS50-S5W4LED4K-03-LES3-LUV-DMG LM-1A-R4-RC AMUJL-18 BTKX
01-29-2023 Page 3 of 6

LUMEC

11 El Camino Real, San Carlos (Lumec Domus 54W 1900lm 4000K Type 3 sag glass distribution, on LM bracket and 18' AMUJL pole, black finish)

City 2 Pole AMUJL-18-BTKX

Description of Components:

Pole Shaft: Shall be made from a 4\" (102mm) round extruded 6061-T6 aluminum tubing, having a 0.220\" (5.7mm) wall thickness, welded to the pole base.

Joint Cover: Two-piece round joint cover made from cast 356 aluminum, mechanically fastened with stainless steel screws.

Pole Base: Shall be made from a 6.5\" (165mm) round extruded 6061-T6 aluminum Loring base having a 0.130\" (3.4mm) wall thickness, welded to both the bottom and top of the entire pipe.

Maintenance Opening: The job shall have a 4 1/2\" x 10\" (116mm x 254mm) maintenance opening centered 2\" (50mm) from the bottom of the anchor plate, complete with a weatherproof embossed aluminum cover and a scope ground lug.

Base Cover: Two piece round base cover made from cast 356 aluminum, mechanically fastened with stainless steel screws.

Note: A bracket will be provided on the luminaire or bracket does not fit directly on pole shaft. Tension nut shown on the drawing.

IMPORTANT: Lumec strongly recommends the installation of the complete lighting assembly with all its accessories upon the anchoring of the pole. This will ensure that the structural integrity of the product is maintained throughout its lifetime.

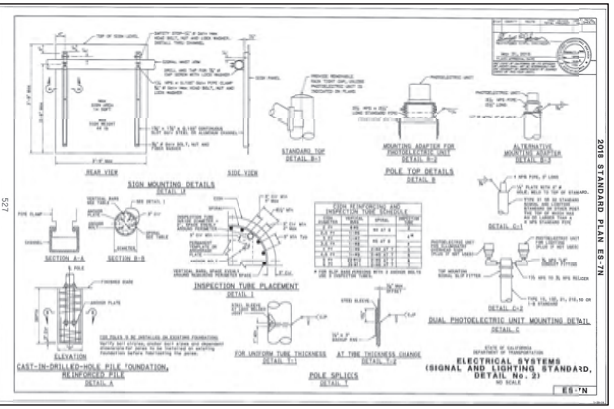
Pole Weight: 55 lbs (25 kg)

DMS50-S5W4LED4K-03-LES3-LUV-DMG LM-1A-R4-RC AMUJL-18 BTKX
01-29-2023 Page 1 of 6

LUMEC

- ### CONTRACTORS NOTES
- CONDUIT AND FITTINGS:** ALL CONDUIT AND FITTINGS SHALL BE ULL APPROVED, UNLESS OTHERWISE NOTED OR REQUIRED. PROVIDE FULL ROPE IN ALL EMPTY CONDUITS. ALL CROSSINGS TO BE PERPENDICULAR TO STREET.
 - CONDUIT DEPTH:** 24\" UNDER SIDEWALK; 24\" UNDER PLANTER STRIP; 36\" UNDER PAVEMENT.
 - CABLE:** CABLE SHALL BE ULL LISTED THW OR THWN WITH MINIMUM OF 3/64\" (154 MIC) POLYVINYL CHLORIDE INSULATION, UNLESS OTHERWISE NOTED. ULL LISTED 600 VOLT, NO. 10 IN POLE MAY BE USED.
 - SPLICE BOXES:** SPLICE BOXES SHALL NOT BE MORE THAN 200 FEET APART ON LONG RUNS.
 - FUSES:** EACH POLE SHALL BE FUSED WITH WATERPROOF IN-LINE FUSE HOLDERS (BUSMAN HERB SERIES) AT EACH ADJACENT SPICE BOX WITH 10 AMP FUSE.
 - SPLICING:** ALL SPLICES SHALL BE MADE IN STREET LIGHT BOXES ONLY. SPLICES SHALL BE IN ACCORDANCE WITH CALTRANS STANDARD METHOD 32\" (SEE CALTRANS DETAIL ES-134).
 - WATERPROOF IN-LINE FUSES:** SHALL BE PROVIDED IN THE SPLICE BOX NEXT TO EACH NEW OR RELOCATED STREET LIGHT. IF THE DESIGN IS SUCH THAT NO BOXES WILL BE INSTALLED, THE SPLICE SHALL BE LOCATED IN THE HANDHOLE.

- ### STREET LIGHTING GENERAL NOTES
- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FIRE MARSHALL, FEDERAL AND ALL APPLICABLE CITY, COUNTY, STATE AND LOCAL UTILITY COMPANY REGULATIONS, N.E.C., AND THE LATEST APPROVED STANDARDS OF I.L.E.E., A.S.A., N.E.M.A., U.L. AND OSHA WHERE APPLICABLE. NOTHING IN THESE PLANS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE ABOVE. ALSO, ALL SECTIONS OF STATE OF CALIFORNIA P.U.C. C.O. 95 SHALL APPLY.
 - MATERIALS FURNISHED UNDER THIS SECTION OF THESE SPECIFICATIONS FOR WHICH UL STANDARDS HAVE BEEN ESTABLISHED SHALL BE LISTED AND BEAR THE LABEL OF UNDERWRITER'S LABORATORIES, INC.
 - WHERE REQUIREMENTS OF APPLICABLE CODES AND STANDARDS CONFLICT WITH THE DRAWINGS OR THESE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
 - THE ELECTRICAL CONTRACTOR SHALL INSTALL THE UNDERGROUND SERVICE FROM THE LUMINAIRE TO POLE SERVICE POINT AND TERMINATE CONDUIT AND WIRES AT BOX AS DIRECTED BY POLE.
 - THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING & OBTAINING APPROVAL FROM CITY/COUNTY AGENCY & GICALONE DESIGN SERVICES, INC.
 - GICALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. CONTRACTOR SHOULD REVIEW PROJECT SITE PRIOR TO SUBMITTING ITS BID.
 - LEGEND SYMBOLS ARE SHOWN IN STREET AREA FOR CLARITY. INSTALL BEHIND CURB AND/OR SIDEWALK PER CITY/COUNTY SPECIFICATIONS KEEP CLEAR OF DRIVEWAYS AND PATHWAYS (TYPICAL).
 - ANY CHANGES OR MODIFICATIONS TO PROPOSED STREET LIGHT LOCATIONS SHALL BE APPROVED, IN WRITING, BY THE CITY/COUNTY AGENCY PRIOR TO INSTALLATION.
 - OBTAIN AND PLACE POLE NUMBERS ON ALL STREET LIGHT STANDARDS AS REQUIRED. COORDINATE WITH POLE AND/OR CITY FOR THEIR REQUIREMENTS.
 - CONDUIT CAN BE PLACED IN JOINT TRENCH. CONDUIT LAYOUT IS SHOWN SCHEMATICALLY. SEE COMPOSITE DRAWING FOR TRENCH LOCATION. ANY INCIDENTAL TRENCHING NOT PROVIDED BY TRENCHING AGENCY IS CONTRACTOR'S RESPONSIBILITY.
 - CONTRACTOR TO INSTALL CIRCUIT GROUNDING AND GROUND WIRE IN CONDUIT AS PER PLANS.
 - A LIST OF ALL MATERIALS & SUPPLIERS SHOULD BE PROVIDED TO AUTHORITY HAVING JURISDICTION FOR APPROVAL.
 - DAY BURN FOR 24 HOURS FOR 5 CONSECUTIVE DAYS FOR CITY/COUNTY INSPECTOR APPROVAL, OR AS REQUIRED BY GOVERNING AGENCY.
 - GROUNDING AND BONDING SHALL PROPERLY INTERCONNECT ALL METAL PARTS OF THE SYSTEM.
 - ALL CONNECTIONS SHALL BE SECURED WITH LOCK NUTS AND INSULATED BUSHINGS.
 - CONTRACTOR SHALL CONSULT LOCAL AGENCIES FOR THEIR CIRCUIT GROUNDING REQUIREMENTS. IF GROUND WIRE IS REQUIRED IN CONDUIT, INSTALL ACCORDINGLY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A COMPLETE OPERATING SYSTEM.
 - AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE STREET LIGHT ADMINISTRATION DEPT. OF THE CITY/COUNTY PRIOR TO ACCEPTANCE OF THE STREET LIGHTING SYSTEM.



**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

CAUTION:
CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION. FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0\"

NO OPS BEFORE YOU DIG
CALL USA TOLL FREE
811
CALL BEFORE YOU DIG



APPROVED

REVISIONS

SYMBOL DATE

GICALONE
DESIGN SERVICES, INC.
1000 STRANDBERG HILL RD., SUITE 100, FOLSOM, CALIFORNIA 95630
916.450.1100
www.gicalone.com

PUBLIC STREET LIGHTING TITLE SHEET

SUMMERHILL APARTMENT COMMUNITIES
11 EL CAMINO REAL

SAN CARLOS CALIFORNIA

PROJECT MANAGER:
ANDREW CUMMINS,
CCP

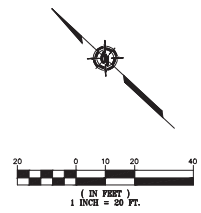
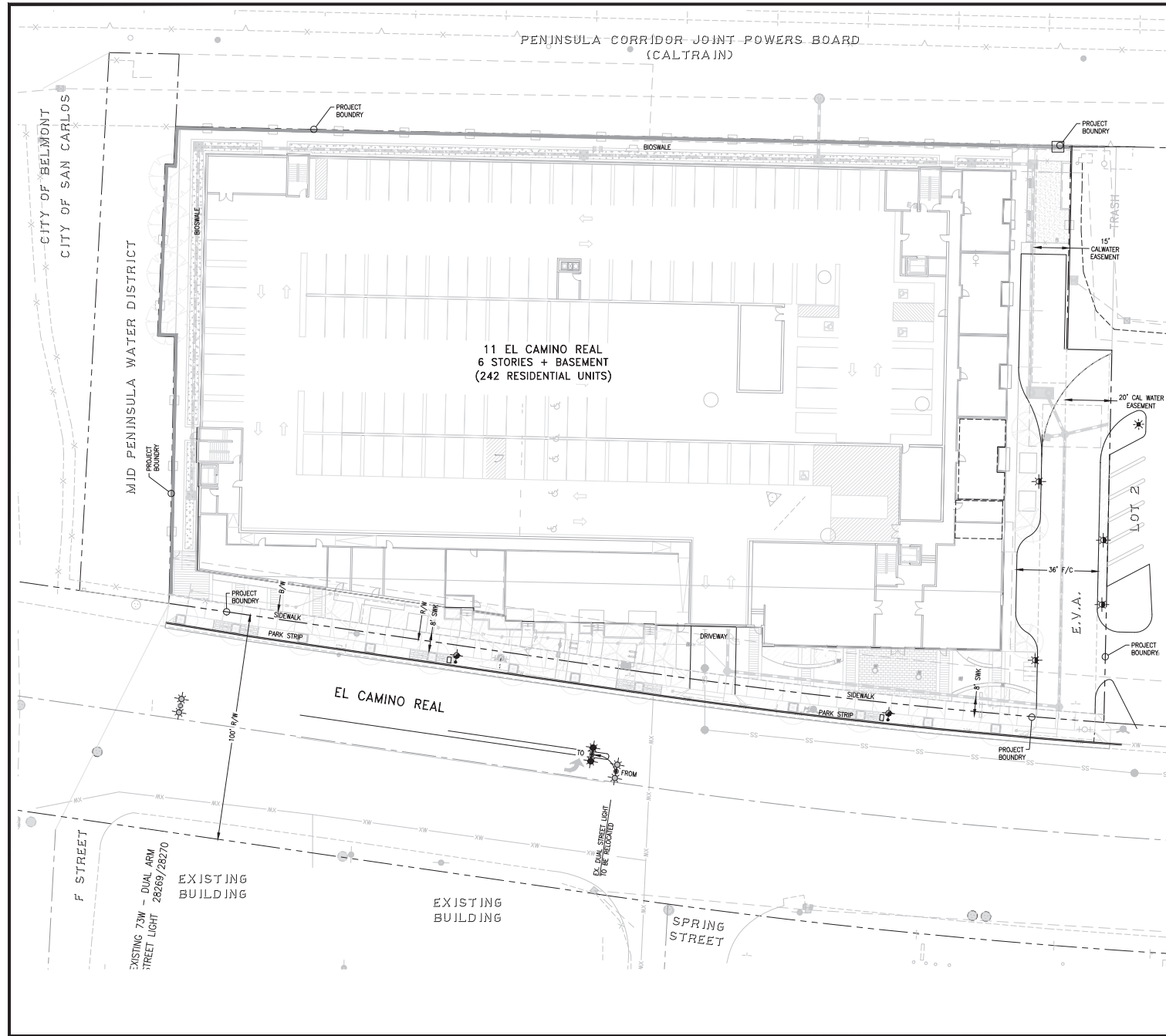
CHECKED BY:
ANDREW CUMMINS

SCALE:
NOT TO SCALE

JOB NUMBER:
23-038 (21-110)

DATE LAST MODIFIED:
05-17-23

SHEET
PuSL1
OF 2 SHEETS



LEGEND

- PROPOSED POST TOP STREET LIGHT (54W)
- EX. DUAL STREET LIGHT TO BE RELOCATED
- STREET LIGHT BOX (STATE TYPE 3 1/2)
- EXISTING STREET LIGHT
- FIRE HYDRANT (BY OTHERS)

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

CAUTION:
CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION. FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".

TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811
CALL BEFORE YOU DIG

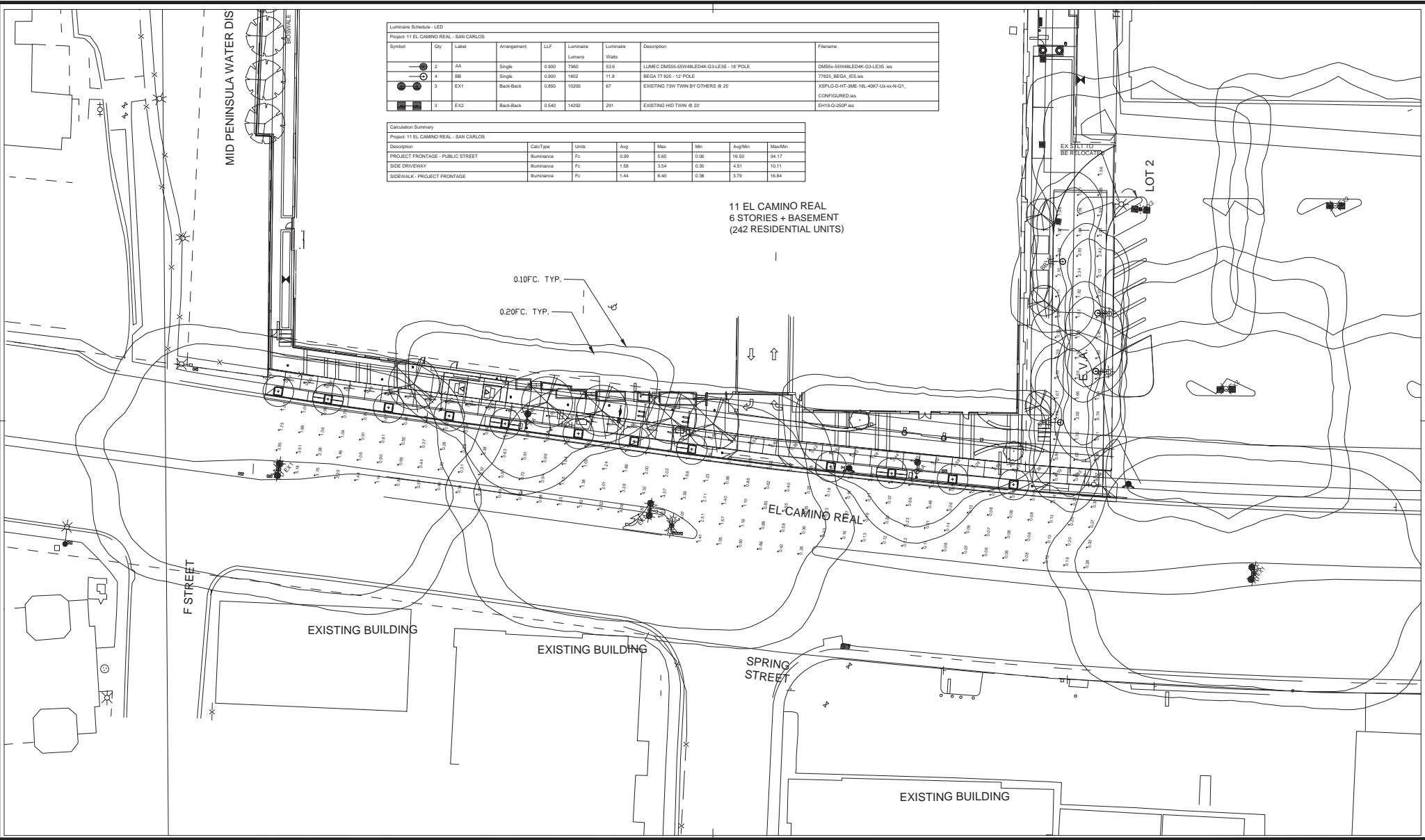


REVISIONS	DESCRIPTION	DATE	APPROVED

GIACALONE
DESIGN SERVICES, INC.
2020 STANFORD AVE. #300 / PALMDALE, CA 94388
909.791.1100

PUBLIC STREET LIGHTING SITE PLAN
SUMMERHILL APARTMENT COMMUNITIES
11 EL CAMINO REAL
SAN CARLOS CALIFORNIA

PROJECT MANAGER:
ANDREW CUMMINS
DRAWN BY:
CCP
CHECKED BY:
ANDREW CUMMINS
SCALE:
1"=20'
JOB NUMBER:
23-038 (21-110)
DATE LAST MODIFIED:
05-17-23
SHEET
PuSL2
OF 2 SHEETS



Luminaire Schedule - LED

Project: 11 EL CAMINO REAL - SAN CARLOS

Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Description	Filename
	2	AA	Single	0.900	7960	53.6	LUMEC OMS55-69W46LED4K-G3-LE35 - 18' POLE	OMS55-69W46LED4K-G3-LE35_iss
	4	BB	Single	0.900	1802	11.8	BEGA 77.825 - 12' POLE	77825_BEGA_ISS
	3	EX1	Back-Back	0.850	10200	67	EXISTING 72W TWIN BY OTHERS @ 20'	XSPPLG-D-HT-3ME-18L-40K7-UX-6x-N-Q1-CONFIGURED.iss
	3	EX2	Back-Back	0.840	14252	291	EXISTING HID TWIN @ 20'	BHT19-250P.iss

Calculator Summary

Project: 11 EL CAMINO REAL - SAN CARLOS

Description	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
PROJECT FRONTAGE - PUBLIC STREET	Illuminance	Fc	0.99	5.65	0.56	16.50	94.17
SIDE DRIVEWAY	Illuminance	Fc	1.58	3.54	0.35	4.51	10.11
SIDEWALK - PROJECT FRONTAGE	Illuminance	Fc	1.44	6.40	0.38	3.79	18.84

11 EL CAMINO REAL
6 STORIES + BASEMENT
(242 RESIDENTIAL UNITS)

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Associated Lighting Representatives, Inc.



ASSOCIATED LIGHTING REPRESENTATIVES, INC.
7777 PARDEE LANE
P.O. BOX 2365
OAKLAND, CA 94621
PHONE: (510) 638-0158 - FAX (510) 638-2908

REPORT FOR: GACALONE DESIGN SERVICES
BY: APPLICATIONS ENGINEERING, RAMON ZAPATA
SALES REPRESENTATIVE: ALR, KRISTIAN REYES



AG32 - VERSION 20.1
AGI (C) 2021 LIGHTING ANALYSTS, INC.
10268 W. CENTENNIAL ROAD, SUITE 202
LITTLETON, CO 80127

PROJECT DESCRIPTION
11 EL CAMINO REAL
CITY OF SAN CARLOS

DRAWING NO. / INPUT FILE
21684REY-R2.DWG / 21684REY-R2.A32

SCALE	SHEET	DATE	REV
1" = 30'	1 OF 1	05.24.2023	2